



**PLANNING COMMISSION
MEETING AGENDA**

TUESDAY, MARCH 7, 2023 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

PLANNING COMMISSION MEMBERS

**VICTOR CUEVAS, CHAIR
PRISCILLA DEL RIO, VICE-CHAIR
NATALIA LOMELI, PLANNING COMMISSIONER
BERJ ALIKSANIAN, PLANNING COMMISSIONER
VACANT, PLANNING COMMISSIONER**

CITY STAFF

**JOSEPH PALOMBI, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
MONICA MERCADO-RODRIGUEZ, PLANNING MANAGER
GLORIA V. RAMIREZ, DEPUTY CITY ATTORNEY
MARIA CELESTE ALCANTAR, CODE ENFORCEMENT COORDINATOR**

NOTICES

This Planning Commission Meeting will be held in person and will meet at **City Hall – City Council Chambers, 1600 West Beverly Boulevard, Montebello, California**. The meeting will be live streamed and can be watched on the City's website and YouTube Channel via the following link: <https://www.montebelloca.gov>, and may also be viewed on Spectrum Public Access Channel 3 for all Spectrum cable subscribers.

AMERICANS WITH DISABILITIES ACT: In compliance with the Americans with Disabilities Act (ADA) any person with a disability who requires special accommodations in order to participate in a meeting should contact Maria Celeste Alcantar, Code Enforcement Coordinator, at (323) 887-1200 EXT. 486 Monday-Thursday from 7:30 a.m.-5:30 p.m. Please call 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II 1203). If you require translation services, please contact us 24 hours before this meeting.

PUBLIC COMMENTS:

In-Person: For those interested in participating during the Public Comment period(s) or public testimony period for Public Hearings of the Planning Commission meetings, you may address the Planning Commission **in person only** the day of the meeting. Speakers will be required to complete a speaker card provided at the door and submit it to Maria Celeste Alcantar, Code Enforcement Coordinator, prior to each Public Comment announcement period. Staff will number and call each speaker card in the order received.

AGENDA MATERIALS: The agenda and agenda packet related to items on this agenda are available for public inspection at City's website at: [Agendas, Minutes, and Videos](#),

IN CONSIDERATION OF OTHERS, PLEASE TURN OFF, OR MUTE, ALL CELL PHONES AND PAGERS
THANK YOU FOR YOUR COOPERATION

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

CORRECTIONS TO THE AGENDA

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS

MINUTES

1. FEBRUARY 21, 2023

RECOMMENDATION: Approval of the Minutes from the Planning Commission meeting held on February 21, 2023.

PUBLIC HEARING

2. SITE PLAN REVIEW ("SPR") CASE NO. PC-2022-0012-SPR AN APPLICATION FILED BY ROY FURUTO, ON BEHALF OF ROYAL PAPER BOX CO TO ALLOW THE ADDITION OF 54,244 SQUARE FEET OF FLOOR AREA TO AN EXISTING 53,671 SQUARE FOOT WAREHOUSE BUILDING ON THE PROPERTIES LOCATED AT 1029 AND 1037 SOUTH MAPLE AVENUE ("PROJECT SITE").

RECOMMENDATION: It is recommended that the Planning Commission of the City of Montebello ('City') conduct a public hearing and take the following action:

1. ADOPT the attached Resolution approving Site Plan Review (SPR) Case No. PC-2022-0012-SPR with conditions to allow the addition of 54,244 square feet to an existing warehouse building at the Project Site; and
2. Find and Determine that the project (ENV no. 15-22-CE) is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 -In-Fill Development Projects that are consistent with the general plan policies and zoning regulations.

PLANNING COMMISSION ORALS

Planning Commission member announcements; requests for future agenda items; conference/meetings reports.

ADJOURNMENT

The City of Montebello Planning Commission will adjourn to the next Regular Meeting on **March 21, 2021, at 6:30 p.m.** at City Hall Council Chambers located at 1600 W. Beverly Boulevard, Montebello, CA 90640.

I, Maria Celeste Alcantar, Code Enforcement Coordinator, for the City of Montebello hereby certify that a copy of this agenda has been posted on or before Thursday, March 02, 2023, at 5:30 p.m.

Maria Celeste Alcantar

Maria Celeste Alcantar, Code Enforcement Coordinator



PLANNING COMMISSION MEETING AGENDA

MINUTES

TUESDAY, FEBRUARY 21, 2023 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

CALL TO ORDER – Chair Cuevas called the meeting to order at 6:33 p.m.

ROLL CALL – Chair Cuevas, Vice-Chair Del Rio, Commissioner Lomeli

PLEDGE OF ALLEGIANCE – Chair Cuevas

CORRECTIONS TO THE AGENDA – None.

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS – None.

MINUTES

1. December 20, 2022

Public Hearing was opened and continued to the January 17th, 2023, Planning Commission Meeting due to the lack of quorum.

2. January 17, 2023

Public Hearing was opened and continued to the February 7th, 2023, Planning Commission Meeting due to the lack of quorum.

3. **February 07, 2023**

Motion to approve the Meeting Minutes from the February 07, 2023 Planning Commission Meeting motioned by Commissioners Lomeli and Seconded by Vice-Chair Del Rio. Director Palombi took roll, and the item was approved 3-0.

CONTINUED PUBLIC HEARING

4. **Conditional Use Permit (“CUP”) and Parking Management Plan (“PMP”) Case No. PC-2022-0013-CUP-PMP to allow Melissa Bueno and Cruz Elizabeth Herrera on behalf of LaTourette Family Survival’s Trust (“Applicant”), to establish a banquet hall with tandem parking at an existing property located at 1800-1808 West Whittier (“Project Site”)**

Director Palombi re-introduced the continued item from the February 07, 2023, meeting. The Public Hearing was opened at 6:39 pm. Chair Cuevas iterated that new speakers would be allowed to speak on the matter and those from the previous meeting will also have an opportunity to speak but only about items not already discussed before such as the nuisance, trash, overflow of traffic and parking. Several new members of the public spoke in favor of the project, while other residents from the previous meeting voiced their new concerns regarding the numerous businesses that would be conducted at the location and suggesting catering permits for the consumption and possession of alcohol to be one of the terms of conditions. Ms. Bueno answered questions from the Commission from the previous meeting regarding the services being provided, the additional parking spaces and hours of operations. The Public Hearing was closed at 7:11 pm. The Planning Commission entertained a discussion from its members. This discussion included comments from Chair Cuevas who then motioned to approve the project with the conditions that the applicant provide 20 additional off-site parking spaces for the banquet hall and that a quarterly compliance review be required for the project. The motion as proposed failed. A motion to deny PC-2022-0013-CUP-PMP was made by Commissioner Lomeli and seconded by Vice-Chair Del Rio. Director Palombi then took role, and the item was denied 2-1.

MOTIONED: Commissioner Lomeli

SECONDED: Vice-Chair Del Rio

APPROVED: 2-1-0-1

AYES: Vice-Chair Del Rio, Commissioner Lomeli

NOES: Chair Cuevas

ABSTAIN: None

ABSENT: Commissioner Aliksanian

CONSENT ITEM(S)

5. **Compliance Review for Conditional Use Permit (“CUP”) No. PC-2022-0011-CUP for the sale of alcohol (Type 41 License – On-sale Beer and Wine – Eating Place) within an existing bona fide restaurant (Sizzler’s) located at 1908 West Beverly Boulevard (“Project Site”).**

Director Palombi introduced the item. Assistant Planner, Daniel Ruiz provided a presentation regarding the Compliance Review for Case No. PC-2022-0011-CUP to the Planning Commission. A recommendation was made to receive and file the compliance report update for PC-2022-0011-CUP by Commissioner Lomeli and Seconded by Vice-Chair Del Rio. Director Palombi took roll, and the item was approved 3-0.

MOTIONED: Commissioner Lomeli

SECONDED: Vice-Chair Del Rio

APPROVED: 3-0-0-1

AYES: Chair Cuevas, Vice-Chair Del Rio, Commissioner Lomeli

NOES: None

ABSTAIN: None

ABSENT: Commissioner Aliksanian

6. Compliance Review for Conditional Use Permit (“CUP”) No. 24-19 for the sale of beer and wine (Type 20 – Off Sale Beer & Wine) at a convenience store operated by 7-Eleven, Inc. and located at 2900 West Beverly Boulevard, Suites A-B.

Director Palombi introduced the item. Associate Planner, Stacey Morales provided a presentation regarding the Compliance Review for CUP 24-19 to the Planning Commission. A recommendation was made to receive and file the compliance report update for CUP 24-19 by Commissioner Lomeli and Seconded by Vice-Chair Del Rio. Director Palombi took roll, and the item was approved 3-0.

MOTIONED: Commissioner Lomeli

SECONDED: Vice-Chair Del Rio

APPROVED: 3-0-0-1

AYES: Chair Cuevas, Vice-Chair Del Rio, Commissioner Lomeli

NOES: None

ABSTAIN: None

ABSENT: Commissioner Aliksanian

PLANNING COMMISSION ORALS

- A. Chair, Victor Cuevas
- B. Vice-Chair, Priscilla Del Rio
- C. Commissioner, Berj Aliksanian
- D. Commissioner, Natalia Lomeli

ADJOURNMENT

The City of Montebello Planning Commission adjourned at 7:41 p.m. to the next regularly scheduled meeting on March 07, 2023, at 6:30 p.m.

Joseph Palombi, Planning Commission Secretary



ITEM # 2

**CITY OF MONTEBELLO
PLANNING COMMISSION AGENDA STAFF REPORT**

TO: Members of the Planning Commission

FROM: Stacey Morales, Associate Planner

BY: Joseph Palombi, Director of Planning & Community Development

SUBJECT: **SITE PLAN REVIEW (“SPR”) CASE NO. PC-2022-0012-SPR AN APPLICATION FILED BY ROY FURUTO, ON BEHALF OF ROYAL PAPER BOX CO TO ALLOW THE ADDITION OF 54,244 SQUARE FEET OF FLOOR AREA TO AN EXISTING 53,671 SQUARE FOOT WAREHOUSE BUILDING ON THE PROPERTIES LOCATED AT 1029 AND 1037 SOUTH MAPLE AVENUE (“PROJECT SITE”).**

DATE: March 7, 2023

RECOMMENDATION(S):

It is recommended that the Planning Commission of the City of Montebello (‘City’) conduct a public hearing and take the following action:

1. ADOPT the attached Resolution approving Site Plan Review (SPR) Case No. PC-2022-0012-SPR with conditions to allow the addition of 54,244 square feet to an existing warehouse building at the Project Site; and
2. Find and Determine that the project (ENV no. 15-22-CE) is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 -In-Fill Development Projects that are consistent with the general plan policies and zoning regulations.

FISCAL IMPACT:

None.

BACKGROUND:

PROJECT /APPLICANT INFORMATION

Project Location: 1029 and 1037 South Maple Avenue
Project Applicant: Roy Furuto on behalf of Royal Paper Box Co
Property Owner: Royal Paper Box Co
General Plan Designation: Industrial
Zoning: M-1 (Light Manufacturing)
Existing Use on Property: Warehouse/Office

Project Site

The surrounding zoning and land uses are listed as follows:

Direction	Zone	General Plan Land Use Designation
North	M-1 (Light Manufacturing Zone)	Industrial
South	M-1 (Light Manufacturing Zone)	Industrial
East	M-1 (Light Manufacturing Zone)	Industrial
West	M-1 (Light Manufacturing Zone)	Industrial

BACKGROUND

On September 22, 2022, Roy Furuto, on behalf of Royal Paper Box Co (“Applicant”), filed a Site Plan Review application (PC-2022-0012-SPR) seeking to allow the construction and expansion of an existing warehouse and office building at the Project Site.

On September 27, 2022, staff issued a deemed complete letter to the applicant.

REPORTS RECEIVED

On September 28, 2022, the Site Plan Review application for Case No. PC-2022-0012-SPR was forwarded to the Public Works Department for review, comments, and conditions. Comments received from the division/department have been incorporated into the Conditions of the proposed Resolution (Attachment A).

ENVIRONMENTAL:

Site Plan Review (Case No. PC-2022-0012-SPR) is considered a “project,” per the (CEQA) definition of a “project.” The project is considered a Class 32 and Categorically Exempt per Section 15332 (In-Fill Development Projects), and none of the limitations set forth in CEQA Guidelines 15300.2 apply.

In order to qualify under an exemption pursuant to Class 32 of Section 15332 (In Fill Development Projects), the following environmental findings must also be made:

A. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

The proposed project conforms to the Montebello General Plan, Land Use Element in that the General Plan Land Use designation for the site is Industrial, and the zoning designation is M-1 (Light Manufacturing) and a warehouse use is allowed within an M-1 zone.

B. The proposed development occurs within the city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.

The proposed development consists of a combined lot area of 201,381 square feet located south of east Washington Boulevard and west of south Maple Avenue within city limits and thus, is less than the maximum five acres specified in Section 15332(b) for this exemption. The site is surrounded by existing developed urban industrial/manufacturing uses.

C. The project has no value as habitat for endangered, rare or threatened species.

The proposed project has been verified to present no value as habitat for endangered, rare or threatened species as the proposed development is on a vacant lot. The subject property is surrounded by urban industrial/manufacturing development.

D. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The proposed project shall not have any significant effects relating to traffic, noise, air quality, or water quality that is not already anticipated during construction. Standard construction controls would be implemented to ensure that construction traffic, noise, air quality, or water quality maintains acceptable levels. Additionally, construction shall take place on site as restricted by the MMC Section 9.08.050 to construct during the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday, and weekends and holidays from 9:00 a.m. to 6:00 p.m. Lastly, the site is located near the intersection of two designated truck routes – Vail Avenue and East Washington Boulevard.

E. The site can be adequately served by all required utilities and public services.

The project has been reviewed by City staff and it has been determined that it can be adequately served by all required utilities and public services.

The City has further considered whether the project is subject to any of the exceptions to the use of a categorical exemption found at CEQA Guidelines Section 15300.2. This section prohibits the use of categorical exemptions under the following circumstances:

- A. For certain classes of projects (Classes 3, 4, 5, 6 and 11) due to location where the project may impact an environmental resource or hazardous or critical concern;
- B. When the cumulative impact of successive projects of the same type in the same place, over time, is significant;
- C. Where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances;
- D. Where the project may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway;
- E. Where the project is located on a state-designated hazardous waste site; and
- F. Where the project may cause a substantial adverse change in the significance of a historical resource.

The property is a vacant underutilized lot in the M-1 (Light Manufacturing) zone where staff has concluded that there will not be any significant impacts in regards to location, cumulative impact, significant effects, scenic highways, hazardous waste sites, or historical reservations. This project is Class 32, therefore, the location of the project shall not impact any environmental resource, hazardous, or critical concern. There is no reason to believe that there shall be any cumulative or significant impact over time as an industrial use is reserved for this specific location. The location is approximately 4,600 feet away from the closest highway and has not been officially designated as a state scenic highway. In addition, the project is bounded to the north, south and west by designated truck routes. Staff also reviewed Government Code Section 65962.5 and this specific property is not located on a hazardous waste site. Lastly, Staff has not discovered any historical resources that may cause any adverse changes.

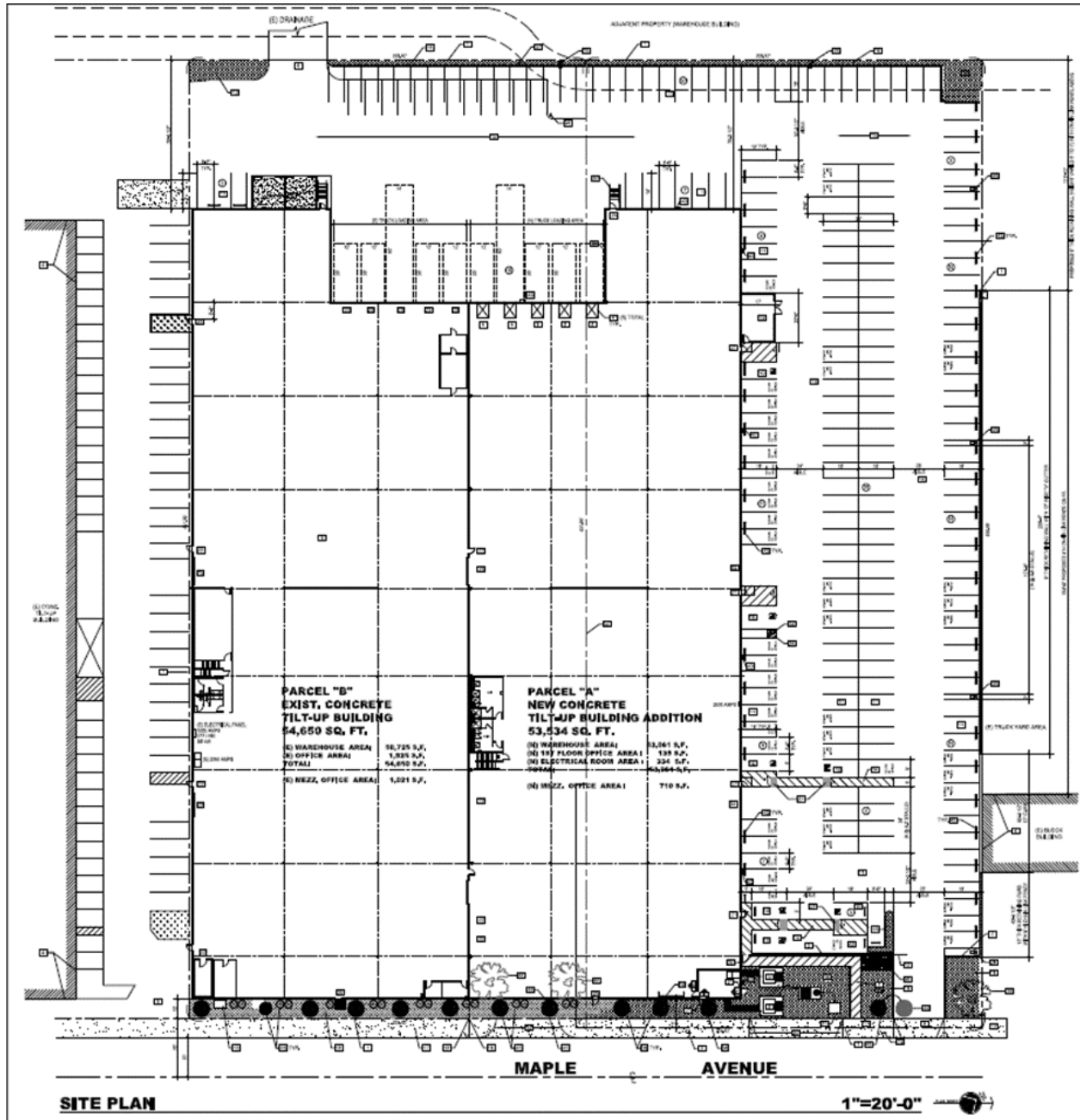
ANALYSIS:

PROJECT DESCRIPTION

The Project Site is located approximately 400-feet from the intersection of E. Washington Boulevard and S. Maple Avenue within the M-1 Zone (Light Manufacturing). The Project Site is bounded by industrial uses to the north, south, east and west. The subject parcels consist of a combined total area of 201,381 square feet. As shown in Exhibit A below, the proposed project will be located at the northern portion of the Project Site.

Provided that the proposed project utilizes two (2) contiguous parcels, the project shall be reviewed by the Public Works Department to ensure compliance with all Department standards.

Exhibit A (Attachment B within the Staff Report)



Montebello Municipal Code Development Standards

DEVELOPMENT STANDARDS	MMC REQUIREMENT	PROPOSED
Front Setback	10 feet or 5 feet if decorative facade	15 feet
Side Setback	5 feet; or 0 feet if no windows or doors	0 feet (no windows or doors proposed)
Rear Setback	5 feet; or 0 feet if no windows or doors	112 feet
Building height	Height of buildings shall be unlimited	35 feet

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Floor to Area Ratio (FAR)	Maximum of 3 to 1 Maximum building area: 604,143 sq. ft.	Existing: 53,671 sq. ft. Proposed: 54,244 sq. ft. Total building area: 107,915 sq. ft.
Landscaping	5% of the parking lot area must be landscaped 4,110 sq. ft. required	6,789 sq. ft.
Parking	112 spaces	217 spaces
Loading Space	5 spaces	10 spaces

The proposed SPR would allow the construction and continued use of a proposed 54,244 square-foot addition to an existing warehouse building on a previously disturbed vacant portion of the Project Site. The project as proposed includes the following scope of work:

- Construction of a 54,244 square foot warehouse addition that would include an 849 square foot office area and 334 square foot electrical room within the proposed 54,244 square foot addition.

The Project Site will be primarily accessible off of South Maple Avenue, which will serve as the primary vehicle entry/exit. The Project Site will provide two hundred- seventeen (217) parking spaces and ten (10) truck loading spaces. The existing industrial building utilizes one (1) trash enclosure located at the rear of the property. Given the facility's expansion, the Planning staff recommends the addition of a second trash enclosure of similar size, subject to review and approval during the building plan check.

GENERAL PLAN

The City's General Plan Land Use designation for the Project Site is Industrial. The following General Plan Land Use Element Goals and Policies are applicable to the warehouse and office building proposed at the Project Site:

General Plan Land Use Element Goal #1 is "[t]o formulate a plan which is responsive to the needs of the community and which permits the orderly arrangement of land uses, permitting sufficient areas for reasonable development;"

General Plan Land Use Element Goal #4 is "[t]o provide for growth and development of an industrial area in a manner compatible with other uses;"

General Plan Land Use Element Industrial Policy #1 states that "[t]he City's industrial area should be preserved and maintained;"

General Plan Land Use Element Industrial Policy #5 states that the "[b]uilding intensity in industrial areas may approach 100% lot coverage, less required setback and parking requirements."

The proposed project conforms with the City of Montebello General Plan Land Use Element in that the proposed use is located in a developed industrial area, the use of a

warehouse and office building is compatible with the existing warehouse use on site and surrounding uses in the area, and the proposed construction is in compliance with the development standards in the M-1 Zone.

MONTEBELLO MUNICIPAL CODE

Pursuant to Montebello Municipal Code (“MMC”) Section 17.74.030, a site plan review is required for all residential projects resulting in three (3) or more dwelling units and for all commercial and industrial projects involving the construction of 5,000 square feet or more of building area.

Section 17.74.010 of the MMC specifies that “the purpose of the site plan review is to minimize or preclude potential adverse impacts to the public interest or on abutting properties and adjacent residential, commercial and industrial neighborhoods, resulting from the design or layout of a proposed development.” Additionally, Section 17.74.020 stipulates that the Planning Commission has the authority to review and approve, approve with conditions or deny approval of a development plan through a site plan review process.

Based on the portions of the MMC referred to in this section, an approval of a development plan through a site plan review for the proposed building addition at the Project Site is required. The role of the Planning Commission in reviewing this submittal is to ensure that the use is properly integrated into the community and constructed in a manner which will ensure that any adverse impacts or concerns surrounding the proposed use will be limited via the establishment of conditions.

In addition, per MMC Section 17.74.070, before a site plan review is granted, the following findings must be made:

1. That the proposed design for improvement complies with all requirements of the Montebello Municipal Code;

As previously mentioned in the Development Standards, staff reviewed all requirements of the MMC from the setback requirements, lot coverage, landscaping, and off-street parking and confirmed that the design complies with all requirements.

2. That the proposed design for improvement is consistent with the general plan;

The proposed project conforms to the Montebello General Plan, Land Use Element in that the General Plan Land Use designation for the site is Industrial, and the zoning designation is M-1 (Light Manufacturing).

3. That the proposed design for improvement will not have any significant adverse impact on the surrounding properties or on the general public welfare;

The proposed project does not exceed the maximum floor-to-area ratio allowed per the MMC. In addition, the architectural design and landscaping will enhance the aesthetics in the immediate surrounding area. As such, the proposed project is anticipated to be of superior quality than much of the surrounding area and, therefore, would not adversely impact the surrounding properties. Lastly, the site

is located near the intersection of two designated truck routes –Vail Avenue and East Washington Boulevard.

SUMMARY:

PUBLIC NOTIFICATION

Pursuant to MMC Section 17.78 (Public Hearings, Notices, and Appeals), the following noticing was performed:

- On February 23, 2023, the Public Hearing Notice was published in the Daily Journal (Whittier Daily News); and
- On February 23, 2023, the Public Hearing Notice was mailed to all property owners within a 300-foot radius from the exterior boundaries of the project site.

ATTACHMENT(S)

1. Attachment A_Reso PC-2022-0012-SPR 1029 & 1037 S Maple Ave MMR edits _ gr edits 2.28.2023
2. Attachment B_Project Site Plan - 1029 and 1037 S. Maple - Plans
3. Attachment C_Public Hearing Notification - 1029 1037 S Maple Ave_MMR edits
4. Attachment D - Notice of Exemption (CEQA NOE_1029 1037 S Maple Ave.)

**CITY OF MONTEBELLO
PLANNING COMMISSION**

RESOLUTION NO. 1-23

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MONTEBELLO, CALIFORNIA, APPROVING SITE PLAN REVIEW ("CASE NO. PC-2022-0012-SPR") WITH CONDITIONS TO ALLOW THE ADDITION OF 54,244 SQUARE FEET TO AN EXISTING WAREHOUSE BUILDING AT 1029 AND 1037 SOUTH MAPLE AVENUE (APN NOS. 6353-015-019 AND 6353-015-020) ("PROJECT SITE") AND FINDING THAT THE SITE PLAN REVIEW IS CATEGORICALLY EXEMPT UNDER CEQA SECTION 15332 (IN-FILL DEVELOPMENT PROJECTS) (ENV NO. 15-22-CE)

WHEREAS, the City of Montebello ("City") received an application from Roy Furuto, on behalf of A & J Realty, LLC for a Site Plan Review ("SPR") (Case No. PC-2022-0012-SPR) to allow the construction of a new warehouse and office building at 1029 and 1037 South Maple Avenue ("Project"); and

WHEREAS, pursuant to section 21067 of the Public Resources Code, and section 15367 of the State California Environmental Quality Act (CEQA) Guidelines (Cal. Code Regs., tit. 14, § 15000 et seq.), the City of Montebello is the lead agency for the proposed Project; and

WHEREAS, the SPR (Case No. PC-2022-0012-SPR) is considered a "project," as per the CEQA definition of a "project"; and

WHEREAS, the project is Class 32 and Categorically Exempt per CEQA Section 15332 (In-Fill Development) and none of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exceptions apply to this Project; and

WHEREAS, a duly noticed public hearing has been held, at which time the Planning Commission considered the evidence submitted by the Applicant, public testimony, staff presentations, and such other matters properly presented during the hearing on this matter; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW THEREFORE, the Planning Commission of the City of Montebello hereby resolves that:

SECTION 1. RECITALS. The foregoing recitals are true and correct and are hereby incorporated as substantive findings in this Resolution.

SECTION 2. FINDINGS

Per MMC 17.74.070, before any site plan review is granted, the following findings shall be made:

1. *That the proposed design for improvement complies with all requirements of the Montebello Municipal Code;*

As previously mentioned in the Development Standards, staff reviewed all requirements of the MMC from the setback requirements, lot coverage, landscaping, and off-street parking and confirmed that the design complies with all requirements.

2. *That the proposed design for improvement is consistent with the general plan;*

The proposed project conforms to the Montebello General Plan, Land Use Element in that the General Plan Land Use designation for the site is Industrial, and the zoning designation is M-1 (Light Manufacturing).

3. *That the proposed design for improvement will not have any significant adverse impact on the surrounding properties or on the general public welfare;*

The proposed project does not exceed the maximum floor to area ratio allowed per the MMC. In addition, the architectural design and landscaping will enhance the aesthetics in the immediate surrounding area. As such, the proposed project is anticipated to be of superior quality than much of the surrounding area and, therefore, would not adversely impact the surrounding properties. Lastly, the site is located near the intersection of two designated truck routes –Vail Avenue and East Washington Boulevard.

SECTION 3. CEQA. The Planning Commission hereby finds and determines that the project is exempt from CEQA under Categorical Exemption §15332 (In-Fill Development) Class 32 exemption based on the following:

- a. *The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.*

The proposed project conforms to the Montebello General Plan, Land Use Element in that the General Plan Land Use designation for the site is Industrial, and the zoning designation is M-1 (Light Manufacturing) and a warehouse use is allowed within an M-1 zone.

- b. *The proposed development occurs within the city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.*

The proposed development consists of a combined lot area of 201,381 square feet located south of Washington Boulevard and west of south

Maple Avenue within city limits and thus, is less than the maximum five acres specified in Section 15332(b) for this exemption. The site is surrounded by existing developed urban industrial/manufacturing uses.

- c. *The project has no value as habitat for endangered, rare or threatened species.*

The proposed project has been verified to present no value as habitat for endangered, rare or threatened species as the proposed development is on a vacant lot. The subject property is surrounded by urban industrial/manufacturing development.

- d. *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

The proposed project shall not have any significant effects relating to traffic, noise, air quality, or water quality that is not already anticipated during construction. Standard construction controls would be implemented to ensure that construction traffic, noise, air quality, or water quality maintains acceptable levels. Additionally, construction shall take place on site as restricted by the MMC Section 9.08.050 to construct during the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday, and weekends and holidays from 9:00 a.m. to 6:00 p.m. Lastly, the site is located near the intersection of two designated truck routes –Vail Avenue and East Washington Boulevard.

- e. *The site can be adequately served by all required utilities and public services.*

The project has been reviewed by City staff and it has been determined that it can be adequately served by all required utilities and public services.

The City has further considered whether the project is subject to any of the exceptions to the use of a categorical exemption found at CEQA Guidelines Section 15300.2. This section prohibits the use of categorical exemptions under the following circumstances:

- a. For certain classes of projects (Classes 3, 4, 5, 6 and 11) due to location where the project may impact an environmental resource or hazardous or critical concern;
- b. When the cumulative impact of successive projects of the same type in the same place, over time, is significant;
- c. Where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances;

- d. Where the project may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway;
- e. Where the project is located on a state designated hazardous waste site; and
- f. Where the project may cause a substantial adverse change in the significance of a historical resource.

The property is a vacant underutilized lot in the M-1 (Light Manufacturing) zone which Staff has concluded that there will not be any significant impacts in regards to location, cumulative impact, significant effects, scenic highways, hazardous waste sites, or historical reservations. This project is Class 32, therefore the location of the project shall not impact any environmental resource, hazardous, or critical concern. There is no reason to believe that there shall be any cumulative or significant impact over time as an industrial use is reserved for this specific location. The location is approximately 800 feet away from the closest highway and has not been officially designated as a state scenic highway. In addition, the project is bounded to the north, south and west by designated truck routes. Staff also reviewed of Government Code Section 65962.5 and this specific property is not located on a hazardous waste site. Lastly, Staff has not discovered any historical resources that may cause any adverse changes.

SECTION 4. APPROVALS. The Planning Commission hereby approves SPR (Case No. PC-2022-0012-SPR), subject to the conditions herein below, for the construction of a new warehouse and office building at 1029 and 1037 South Maple Avenue.

SECTION 5. CONDITIONS. The Planning Commission finds that the foregoing conditions of approval are necessary and appropriate.

A. Standard Conditions:

1. The Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers, and employees from any claim, action, or proceeding brought against the city, its elected and appointed officials, agents, officers, or employees arising out of, or which are related to the Applicant's project or application (collectively referred to as "proceedings"). The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities, and expenses incurred or awarded in connection with the proceedings whether incurred by the Applicant, the city and/or the parties initiating or bringing such proceedings. This indemnity provision shall include the Applicant's obligation to indemnify the city for all the city's costs, fees, and damages that the city incurs in enforcing the indemnification provisions set forth herein. The City shall have the right to choose its own legal counsel to represent the City's interest in the proceedings.

2. The development and utilization of the subject site shall conform to the allowed use, except as provided for herein and by subsequent revisions found by the Director of Planning and Community Development (“Director”) to be in substantial compliance with these provisions.
3. The development and utilization of the subject site shall be consistent with all of the provisions of the Montebello Municipal Code (MMC) and SPR (Case No. PC-2022-0012-SPR) and the specifications of the Planning Division.
4. Within thirty (30) days of the City Planning Division transmittal of the Acceptance Form, the Applicant shall sign and return a copy of the Acceptance Form, agreeing to the conditions of approval and acknowledging that failure to comply with such conditions shall constitute grounds for potential revocation of the permit approval. Failure to return the Acceptance Form within thirty (30) days shall constitute grounds for terminating the permit.
5. In the event the Applicant violates or fails to comply with any conditions of approval of this permit, no further permits, licenses, approvals, or certificate of occupancy shall be issued until such violation(s) have been fully remedied.
6. The site and surrounding area shall be maintained in a litter and graffiti free manner. Any graffiti that occurs on the site shall be removed within 24 hours at Applicant, Site Owner (“Site Owner”), and/or Operator’s own expense.
7. No signs shall be installed on the site until a sign permit has been approved by the Planning Department and Building & Safety Division in conformance with the provisions set forth in [Chapter 17.62](#) (“Signs”) of the MMC and the provisions set forth in the SPR.
8. The approval of the entitlement shall expire if the rights granted are not exercised within one (1) year from the SPR’s effective date. Exercise of right shall mean issuance of a building permit to commence construction or similar activities demonstrating the intent to proceed with the project, as determined by _____ the _____ Director.
9. The Director, at any time, can call for a review of the approved conditions of approval at a duly noticed public hearing before the Planning Commission. These condition(s) may be modified, or new condition(s) added to reduce any impacts of the use. The Planning Commission may revoke Site Plan Review (Case No. PC-2022-0012-SPR) if sufficient cause is given.
10. The Applicant or successor in interest shall meet the applicable code requirements and all other City Department regulations.

11. All applicable conditions of approval from previous entitlements on the property shall remain in full force and effect, unless otherwise specifically noted in this Resolution.
12. The property owner will bear the full costs of all monitoring and inspection activities to be conducted by City staff, or its designated representative(s), as necessary to ensure compliance with the conditions of this Resolution.
13. Any change, expansion, intensification and/or modification to the proposed plans use, or mode of operations shall be subject to the review and approval by the Director who may take action or call for review by the Planning Commission at a noticed public hearing.
14. This approval shall not supersede the approval of any other responsible agencies. The Applicant shall comply with all Federal, State and local laws.
15. The approval of this SPR (Case No. PC-2022-0012-SPR) shall automatically expire if the rights granted are not exercised within two (2) years from the effective date of this Resolution.
16. The approval of this SPR (Case No. PC-2022-0012-SPR) can be extended up to and not to exceed an additional two (2) years with a written request by the property owner thirty (30) days prior to the expiration date stating the reason and need for an extension and upon review and approval by the Director.
17. In the event of a violation of the conditions of approval, no further permits, licenses, approvals or certificates of occupancy shall be issued until such violation has been fully remedied.
18. The development and utilization of the site shall comply with all the provisions of all of the current Building, Plumbing, Mechanical, Electrical Codes, and City Ordinances, as well as additional requirements from the Montebello Building and Safety Division.
19. The development and utilization of the site shall be subject to the review and approval of the Public Works Department. Additional Montebello Public Works Department requirements may be required prior to issuing building permits.
20. The development and utilization of the site shall comply with all the provisions of all of the California Fire Code, International Fire Code, and National Fire Protection Association standards as well as additional requirements from the Montebello Fire Department.

21. Modification to Plans. Subsequent modification to this approval, which do not intensify the use, including but not limited to reorientation of structures, alteration of parking and circulation design, minor changes to the Conditions of Approval, interpretations of the Conditions of Approval relative to intent, necessity of, and timing, may be approved by the Director within a 25% deviation, unless the Director requires a Substantial Conformance or revised Permit application in accordance with the City Development Code.
22. The Applicant shall contact the Planning Division to arrange a Planning Inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
23. Detailed landscape and irrigation plans, which meet the requirements set forth in MMC shall be required as a part of the project Plan Check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
24. A copy of the approved Resolution shall be affixed to the first couple sheets of the construction plans for any site improvement at the submittal of plans for plan check.
25. It is the responsibility of the property owner to have all graffiti on the site removed within twenty-four (24) hours of its appearance, or be subject to citation from the City Code Enforcement Division.
26. If at any time, a litter problem arises, the Director may require a litter clean-up plan to be submitted and reviewed. The litter clean-up plan shall include a schedule of time and frequency of litter clean-up activities. Upon approval of the plan by the Director, the measures of the plan shall be implemented. This condition may require the operator of the use to post a bond to ensure litter compliance.
24. All improvements to the subject property shall be in compliance with all City Ordinances.
25. The hours of construction shall be 7:00 a.m. to 8:00 p.m., Monday through Friday, and weekends and holidays 9:00 a.m. to 6:00 p.m. as restricted by the MMC Section 9.08.050.
26. The applicant shall adhere to all industrial development standards for the mitigation of noise as per MMC Section 17.22.110.
27. The street shall be swept at the end of the day if visible soil material is carried onto adjacent public paved roads.

28. The parking spaces shall be posted and striped with double lines spaced six (6) inches apart and shall comply with the City's off-street parking requirements as per MMC Section 17.52.070. Such striping shall be shown on the plans submitted for plan check.
29. Any parking space that fronts a building wall or fence with no separation between the front end of the parking space and the wall or fence, shall be provided with a concrete wheel stop or curb barrier not less than two (2) feet from such wall or fence property line. Such wheel stop or curb barrier shall be securely installed and maintained.
30. Site shall maintain a minimum of four (4) truck loading spaces measuring 12 feet in width and 30 feet in length and a minimum of one (1) loading space measuring 14 feet in width and 60 feet in length.
31. Minimum aisle widths and circulation shall be provided in accordance to the MMC requirements.
32. An application for a Lot Tie to hold the two contiguous parcels as one site and shall be approved prior to the issuance of building permits.
33. The landscape plan shall conform to the MMC and the State Model Water Efficient Landscape Ordinance requirements. Shrubs shall not be less than three (3) feet in height when planted and cover not less than thirty (30) percent of the landscaped area. All landscaping shall cover the designated planting areas from the outset.
34. All trees shall be at least twenty-four inch (24") box or equivalent.
35. All landscape planters shall be surrounded by a six (6) inch concrete curb.
36. All trash enclosures shall be constructed of decorative masonry block or masonry block with decorative finish, such as stucco, and view-obscuring doors that are compatible with the main building, subject to the final review and approval of the Planning Department. The Applicant shall reflect this requirement on the plans submitted for plan check.
37. All existing and proposed utilities (Gas, Electricity, Communications, etc.) shall be placed underground. The applicant shall reflect this requirement on plans submitted for "Plan Check".
38. All outdoor utilities or machinery located outside the exterior walls, including roof-mounted equipment, shall be completely screened from view from any public right-of-way or adjacent residential use by either view obscuring landscaping or architectural features of the main building (i.e. parapet walls,

façade extension, etc.), subject to the final review and approval of the Planning Department.

39. Any inevitable exposed wires shall be neatly bolted and painted to match the building color.
40. The exterior of all structures and walls shall be a neutral color scheme and shall be consistent with the provisions of Section 17.32.135 of the MMC, subject to the review and approval of the Planning Department.
41. Any substantial change or modification to the proposed site plan shall be subject to review and approval by the Planning Commission.

B. Public Works Department Conditions

1. The Applicant shall submittal "Will Serve" letters from ALL utility companies who will be required to serve the new site.
2. The Applicant's engineer shall coordinate with all utility companies during the design phase and shall ensure that required public improvements resulting from the proposed project are not in conflict with existing or proposed utilities.
3. Provide topographic and boundary surveys, the topo shall extend beyond boundary for 15' to show adjacent structures and that drainage is not being blocked or re-routed or will be mitigated, show date and by whom the topo was prepared. The applicant shall be responsible for informing all consultants, contractors, subcontractors, engineers, or other related disciplines providing services related to the project of their responsibilities to comply with all pertinent requirements in the MMC, including the requirement that a business license be obtained by all entities doing business in the City.
4. The Applicant shall be responsible for the on-going maintenance and upkeep of undeveloped portions of the site during the phasing of the project including, but not limited to, NPDES requirements.
5. As a part of the submitted documents for the project plans and reports, the Applicant shall also submit the following documents including all necessary calculations and reports to demonstrate the constructability of all site improvements:
 - a. Applicable documents in compliance with the Subdivision Map Act if any changes to existing parcels are proposed.
 - b. Grading plan (show retaining walls locations and height, if any, & earth work cut/fill,
 - c. BMPs
 - d. Erosion Control

- e. Low Impact Development (LID), provide hydrology and hydraulic calculation
 - f. Drainage plan including both temporary and permanent improvements
 - g. NPDES documents
- 6. All plans and construction of public works (streets etc.) shall be per the City of Montebello Standards and Greenbook Standards.
- 7. All submitted plans, specifications, studies, reports, calculations, maps, notes, legal documents, and designs shall be reviewed and approved by the City prior to City issuing a building permit. The submitted documents shall identify those individuals legally authorized to sign such documents. Plans for public improvements shall be prepared under the supervision of a California Registered Civil and/or Traffic Engineer, as applicable.
- 8. Grading Plans shall be submitted for review and approval by the City Engineer prior to the issuance of a grading permit. NOTE: A Building Permit is required for walls including free-standing and retaining walls.
- 9. The Applicant shall submit geotechnical reports prepared in accordance with the City's Engineering Design Standards to the City Engineer for review and approval prior to the issuance of a grading permit.
- 10. The Applicant shall provide standard street improvements in the public right-of-way on all sides of the property that abut public right-of-way including:
 - a. Remove and replace all broken/damaged curb and gutter, and PCC sidewalk and driveways, including driveway closures.
 - b. Sidewalks 5 feet minimum width.
 - c. Remove and replace broken alley entrance.
 - d. All driveways shall meet ADA requirements.
 - e. Parkways either parallel to back of curb or meandering as approved by City Engineer.
 - f. Roadway grading and paving consisting of CMB, AC pavement course and rubberized AC pavement final surface of a 2 inch minimum AHRM overlay, as approved by the City Engineer, for one-half of the street or alley along the frontage of the property at all right-of-way lines. No low points within the roadway are allowed without drainage improvements.
 - g. Pavement transition from the project boundaries to the existing streets to the satisfaction of the City Engineer.
 - h. Traffic control signs, striping and markings and devices as required by the City Engineer. All striping shall be thermoplastic.
 - i. Alley shall provide a minimum clear width of 20 feet for Fire access.
 - j. ADA wheelchair handicap ramp(s) at all walk returns, including alleys.
 - k. Roadway drainage device(s), as required, including through curb drains for offsite drainage.
 - l. Landscaping of parkways as required.

* Parkway widths shall be as approved by City Engineer. Where required, landscaping and irrigation systems thereof shall be provided and the maintenance to be provided by the applicant until transferred to the residential Home Owners Association (HOA) per the CC&Rs.

- 11. A sanitary sewer-area study shall be prepared and submitted to the City Engineer for review and approval.
- 12. Easements for all on-site utilities, public and private, shall be granted and recorded for maintenance and upkeep. Such easements may include, but are not limited to, sewer, water, electric, natural gas, telephone, communications and cable television. All easements for utilities and substructures shall be shown on the various maps submitted for final tract map approval.
- 13. Prior to acceptance of public improvements, the applicant shall have repaired any new or existing public improvements damaged caused by construction activities, obtain completion letters from all utilities.
- 14. Obtain a Public Works Encroachment Permit prior to performing any offsite improvements.

PASSED AND ADOPTED this 7th day of March, 2023 by the Planning Commission.

Chair: Cuevas	() AYE () NOE () ABSENT () ABSTAIN
Vice-Chair: Del Rio	() AYE () NOE () ABSENT () ABSTAIN
Commissioner: Aliksanian	() AYE () NOE () ABSENT () ABSTAIN
Commissioner: Lomeli	() AYE () NOE () ABSENT () ABSTAIN
Commissioner Vacant:	() AYE () NOE () ABSENT () ABSTAIN

Victor Cuevas, Chairperson

ATTEST:

Joseph A. Palombi, Director
Planning & Community Development Department

SITE PLAN

1"=20'-0"



SYMBOL	DESCRIPTION	DETAIL
11	PROPERTY LINE	
21	(N) 8 FT. HIGH SLUMP STONE BLOCK WALL	
31	(N) 26" WIDE DRIVEWAY	
41	ADJACENT BUILDING	
51	(E) BUILDING	
61	(E) DRIVEWAY	
71	(E) FIRE HYDRANT	
81	(N) CONCRETE WALKWAY	
91	(N) TRUCK DOOR	
101	(N) ACCESSIBLE PARKING STALL	
111	(N) 8'-6" x 18'-0" STANDARD PARKING STALL	
121	(N) 8' HIGH WROUGHT IRON SLIDING GATE	
131	(E) LANDSCAPE	
141	(N) ACCESSIBLE PATH WAY	
151	(N) PAVING AREA	
161	(N) LANDSCAPE AREA	
171	(E) SIDEWALK	
181	(N) 6'-0" HIGH TRASH ENCLOSURE (7'-0" x 21'-0") ; PRECISION BLOCK SLUMP STONE	
191	(E) SCE TRANSFORMER TO BE REMOVED	
201	(N) 3' x 8' W.I. SCREEN GATE	
211	(N) 3' x 7' EXIT DOOR	
221	(E) 3' x 7' EXIT DOOR TO REMAIN	
231	(E) TRUCKDOOR. DOOR TO REMAIN	
241	(N) BOLLARD	
251	(N) 3' x 7' FIRE DEPARTMENT ACCESS DOOR	
261	(N) PARKING LIGHT POLE	
271	(N) TRUNCATED DOME	
281	(N) FIRE HYDRANT	
291	(E) TRASH ENCLOSURE	
301	(N) CONC. STAIR	
311	(N) EDISON EQUIPMENT	
321	(E) DRIVEWAY TO BE REMOVED	
331	(N) EQUIPMENT DOOR	
341	(N) LOT Tie UNDER SEPARATE APPLICATION	
351	(E) FIRE HYDRANT TO BE RELOCATED	
361	(E) TREE & SHRUB	12,13,14/A-
371	(N) FIRE HYDRANT RELOCATION	
381	(N) LONG TERM BICYCLE PARKING	
391	(N) SHORT TERM BICYCLE PARKING	
401	(N) BUILDING WALL LIGHT	
411	(N) DOCK LEVELER	
421	FUTURE RV VAN ACCESSIBLE STALL	
431	WHEEL STOP	
441	(E) TREE TO BE RELOCATED	
451	(N) TREE & SHRUB TO MATCH EXISTING	12,13,14/A-

KEY NOTES

SCOPE OF WORK
ADDITION OF 53,534 S.F. TO EXISTING 54,650 S.F. BUILDING

(N) BUILDING ADDITION: 53,534 S.F.
(N) 1ST FLOOR OFFICE: 849 S.F.
(N) MEZZANINE OFFICE: 710 S.F.
(N) ELECTRICAL ROOM: 334 S.F.

PROJECT ADDRESS: 1037 MAPLE AVENUE
MONTEBELLO, CALIFORNIA 90604

A.P.N. 6353-015-019 & 6353-015-020
(PARCEL "A") (PARCEL "B")

OWNER: ROYAL PAPER BOX CO.
OWNER'S ADDRESS: 1105 MAPLE AVENUE
MONTEBELLO, CALIFORNIA 90604
323-718-7041

SITE STUDY

ZONING: M-1 - MANUFACTURING

ZONING:	M-1 - MANUFACTURING
LAND AREA:	PARCEL "A": 101,197 S.F. (2.32 ACRES) PARCEL "B": 100,180 S.F. (2.30 ACRES) <u>TOTAL: 201,377 S.F. (4.62 ACRES)</u>

FLOOR AREA RATIO (FAR): 108,184 / 201,377 S.F. = 53.7%

TOTAL BUILDING AREA: (E) BLDG. (PARCEL "B"): 54,650 S.F. + (N) BLDG. (PARCEL "A"): 53,534
TOTAL FOOTPRINT: 108,184 SQ. FT.

PROPOSED USE: OFFICE / MANUFACTURING / WAREHOUSE
OCCUPANCY: B / F-1 / S-1
TYPE OF CONSTRUCTION: III-B SPRINKLER

PARKING REQUIREMENTS:
WAREHOUSE: 1 / 1000

PARCEL "A"
(N) WAREHOUSE: 52,685 / 1000= 52.4 OR 53 STALLS
(N) OFFICE: 849 / 400= 2.1 OR 2 STALLS

PARCEL "B"
(E) WAREHOUSE: 52,725 / 1000= 52.7 OR 53 STALLS
(E) OFFICE: 2,946 / 400= 7.37 OR 8 STALLS

TOTAL STALLS REQUIRED: 116 STALLS
TOTAL STALLS PROVIDED: 217 STALLS

PARKING PROVIDED

VAN ACCESSIBLE (12' X 18'):	2 STALLS
STD. ACCESSIBLE (9' X 18'):	5 STALLS
FUTURE EV VAN ACCESSIBLE (12' X 18'):	1 STALLS
FUTURE EV STD. ACCESSIBLE (9' X 18'):	1 STALLS
FUTURE EV STD. (8.5' X 18') :	20 STALLS
CLEAN AIR STD. (8.5' X 18'):	26 STALLS
STANDARD (8.5' X 18'):	162 STALLS

TOTAL PARKING PROVIDED 217 STALLS
217 > 116, THEREFORE O.K.

TRUCK LOADING

TOTAL OF 5 REQUIRED

PROVIDED:

(9) 12' WIDE x 30' LONG

(1) 14' WIDE x 60' LONG

TOTAL: 10 TRUCK LOADING SPACES

LANDSCAPE (5% OF PARKING LOT AREA)
82,196 S.F. x 5%= 4,110 S.F. LANDSCAPE REQUIRED

IF PARKING LOT IS ENCLOSED OR IS NOT VISIBLE FROM
THE PUBLIC RIGHT-OF-WAY, THIS LANDSCAPING MAY
BE TRANSFERRED TO ANY VISIBLE LOCATION ON SITE

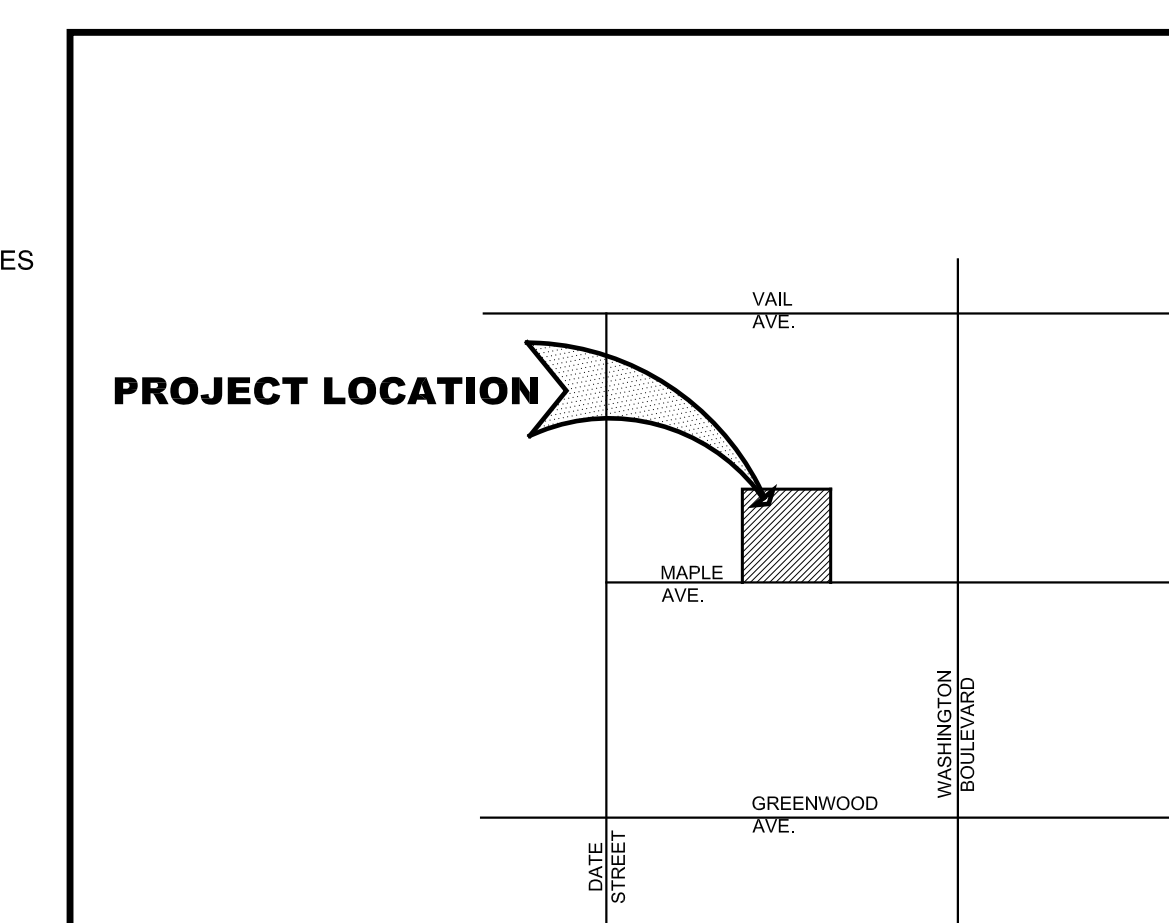
LANDSCAPE PROVIDED: 6,789 S.F. or 8.2%
6,789 > 4,110 THEREFORE O.K.

SHORT-TERM BICYCLE PARKING (5% OF PARKING)

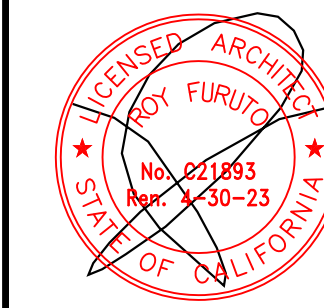
SHORT-TERM BICYCLE PARKING (5% OF PARKING)
REQUIRED: 219 (TOTAL PARKING STALL) x 5% = 10.95
OR 11 BICYCLE PARKING SPACES REQUIRED
PROVIDED: 11 SHORT-TERM BICYCLE SPACES

LONG-TERM BICYCLE PARKING (5% OF PARKING)

REQUIRED: 219 (TOTAL PARKING STALL) x 5%= 10.95
OR 11 BICYCLE PARKING SPACES REQUIRED
PROVIDED: 11 LONG-TERM BICYCLE SPACES



VICINITY MAP

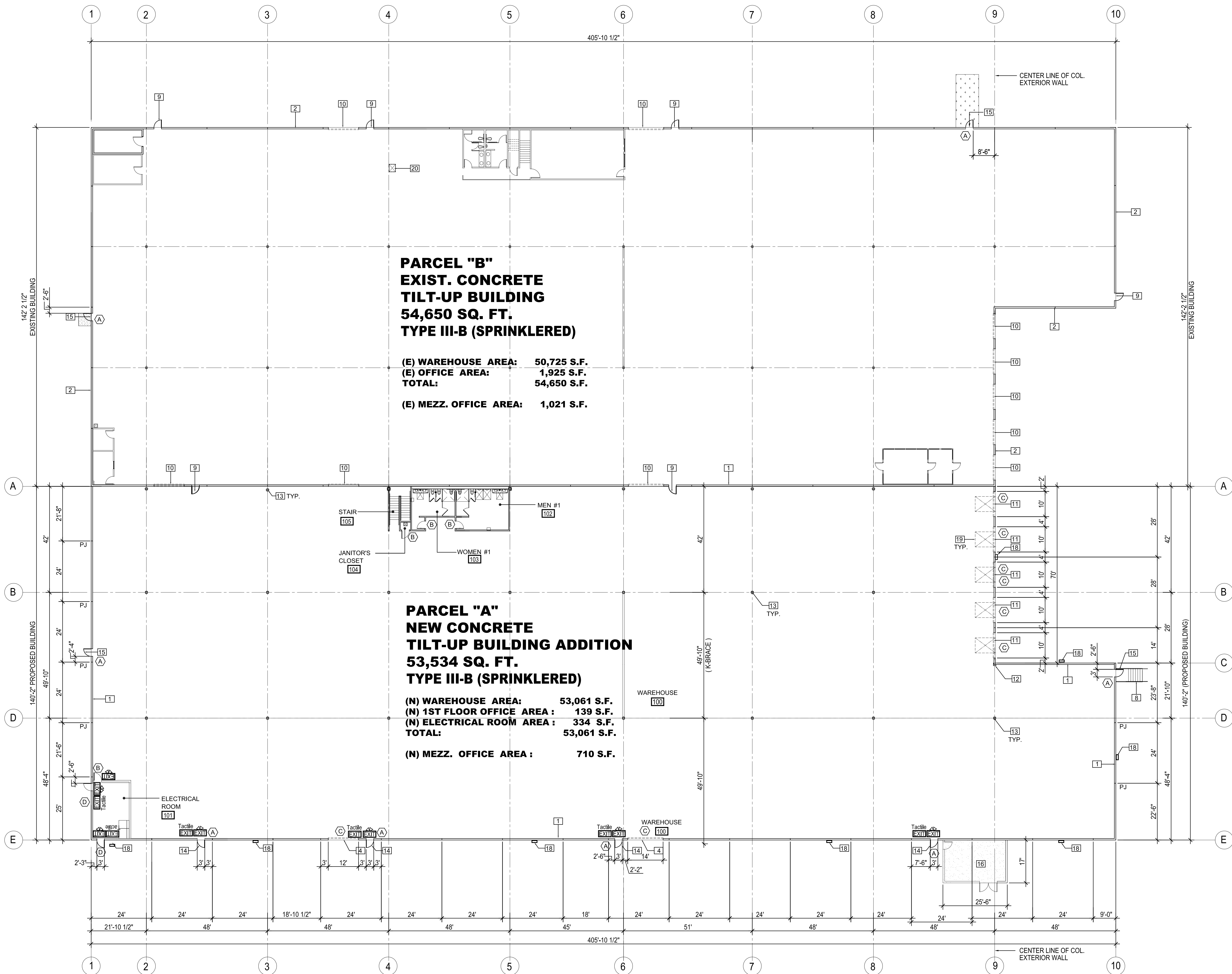


Furuto Rubio & Associates
Architecture / Planning / Design

5590 Lugene Avenue, Monterey, Park, Ca. 91755 / 323-890-8770 / Fax 323-890-8774

[illegible]

DRAWING NO.	DATE	11/01/22	DRAWING TITLE	SITE PLAN
	SCALE	1"=20'-0"	JOB TITLE	ROYAL PAPER BOX CO.
	DRAWN BY	FRA	JOB ADDRESS	1037 S MAPLE AVENUE MONTEBELLO, CA 90640
	JOB NO.			16-149

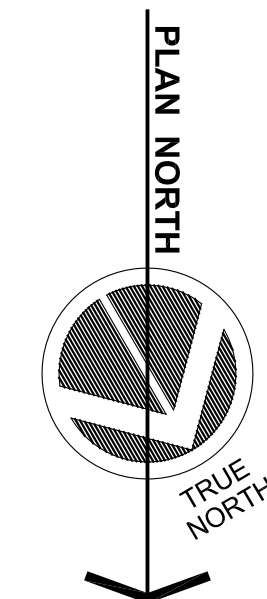


SYMBOL	DESCRIPTION
1	(N) PRECAST CONCRETE TILT-UP WALL
2	(E) PRECAST CONCRETE TILT-UP WALL
3	NOT USED
4	(N) 12'-0" x 14'-0" HIGH EQUIPMENT DOOR
5	NOT USED
6	NOT USED
7	NOT USED
8	(N) CONC. STAIRS WITH STEEL RAILINGS
9	(E) 3' x 7' EXIT DOOR
10	(E) TRUCK DOOR
11	(N) 10'-0" x 10'-0" TRUCKDOOR SEE DETAIL 10 / A-12
12	(N) CONCRETE PILASTER
13	(N) INTERIOR COLUMN TO ROOF
14	(N) 3' x 7' EXIT DOOR
15	(N) 3' x 7' FIRE DEPT. EXIT DOOR
16	(N) TRASH ENCLOSURE
17	(N) TRASH ENCLOSURE
18	(N) BUILDING WALL LIGHT
19	(N) DOCK LEVELER
20	(E) ROOF HATCH LOCATION AT (E) BUILDING
KEY NOTES	
1	

DOOR SCHEDULE	
SEE SHEET A-10	
LEGEND	
EXIT	NEW ILLUMINATED EXIT SIGN W/ BATTERY BACK UP EXIT SIGNS SHALL BE LIT AT ALL TIMES AND SHALL BE PROVIDED WITH A SECONDARY SOURCE OF POWER.
EXIT Tactile	NEW TACTILE EXIT SIGN PER SECTION 11B-216.4 AT EACH GRADE LEVEL EXIT DOOR

EXISTING & PROPOSED BUILDING FLOOR PLAN

1/16"=1'-0"



1500 Laguna Avenue, Montebello, CA 91753 | 323-590-8770 / Fax: 323-590-8774

Architecture / Planning / Design

Furto Rubio & Associates

Architects

EXISTING & PROPOSED BUILDING FLOOR PLAN

ROYAL PAPER BOX CO.

1037 MAPLE AVENUE
MONTEBELLO, CA 90640

DATE 11/01/22

SCALE 1/16"=1'-0"

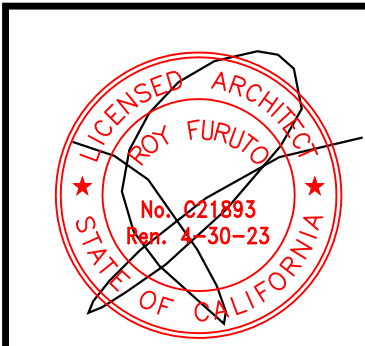
DRAWN BY FRA

JOB NO. 16-149

DRAWING NO. SPR-2

NO.	DATE	ISSUED	NO.	DATE	REVISION

Page 28 of 33



NO.	DATE	REVISION

DRAWING TITLE	PROPOSED BUILDING ROOF PLAN
JOB TITLE	ROYAL PAPER BOX CO.
JOB ADDRESS	1037 MAPLE AVENUE MONTEBELLO, CA 90640

DATE	11/01/22
SCALE	AS NOTED
DRAWN BY	FRA

JOB NO.	16-149
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DRAWING NO.	SPR-3
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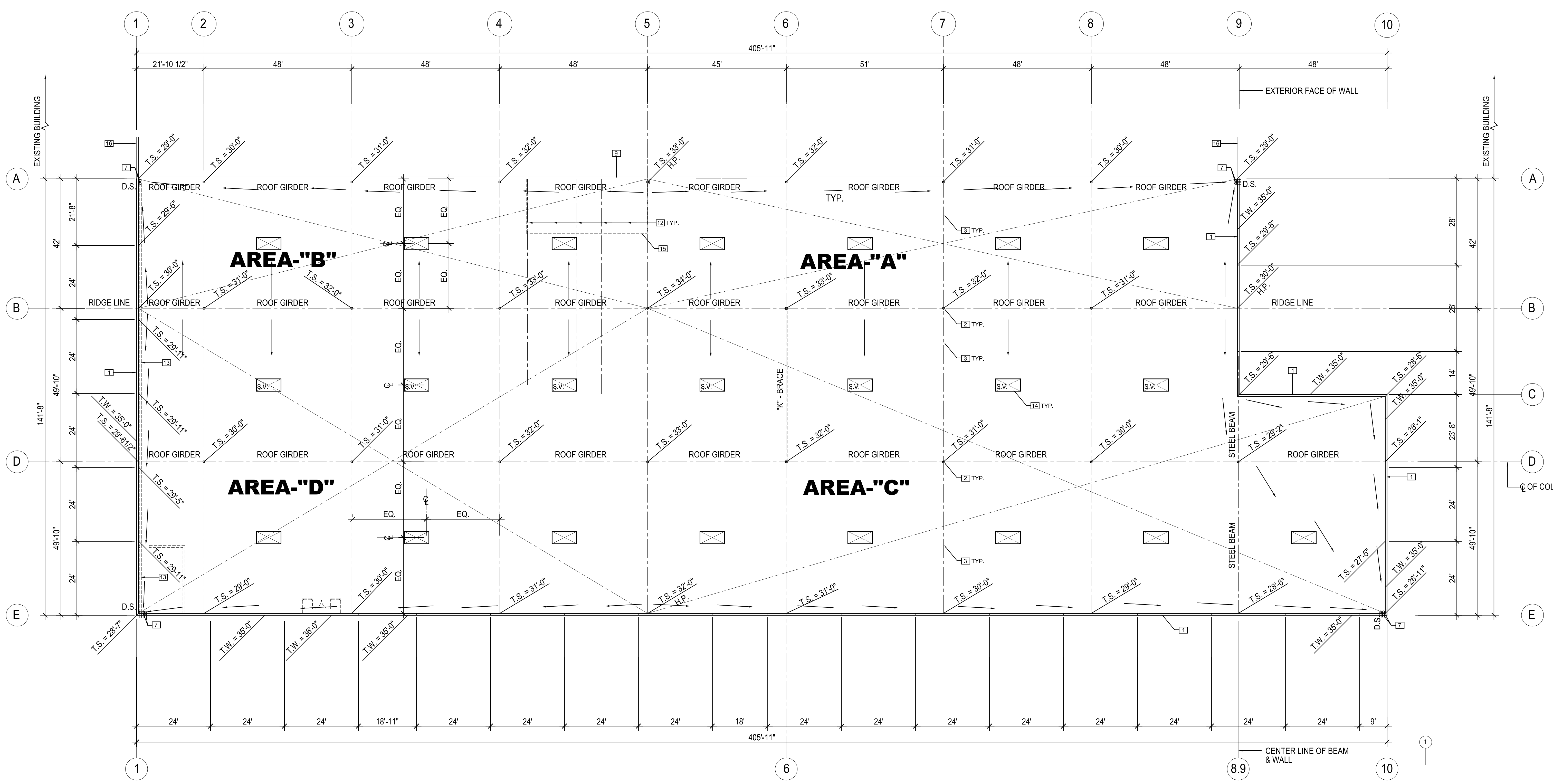
SYMBOL	DESCRIPTION	DETAIL
[1]	CONCRETE TILT-UP PANEL	
[2]	STEEL COLUMN	
[3]	ROOF GIRDER LINE	
[4]	LINE OF STEEL BEAM	
[5]	CRICKET	
[6]	ROOF ACCESS OPENING AT ROOF	
[7]	ROOF DRAIN & DOWNSPOUT	
[8]	A/C PLATFORM SEE MECHANICAL DRAWING FOR LOCATION	
[9]	(N) FRAMED PARAPET WALL AND (E) BLDG. PARAPET UNDERNEATH	
[10]	ROOF HATCH	
[11]	ROOF BEAM LINE	
[12]	ROOF STEEL BAR JOIST @ 8'-0" O.C. TYP. SEE STRUCT'L DWGS.	
[13]	HORIZONTAL ROOF DRAIN & OVERFLOW	
[14]	ROOF SMOKE VENTS	
[15]	OUTLINE OF OFFICE WALL BELOW	
[16]	(E) BLDG. ROOF PARAPET	
[17]		
[18]		
[19]		
[20]		
[21]		
[22]		
KEY NOTES		1

LEGEND:

T.W. --- TOP OF WALL
T.S. --- TOP OF SLOPE
D.S. --- DOWN SPOUT

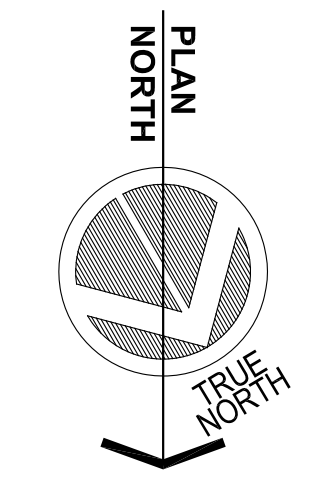
[S.V.] 4'-0" x 8'-0" KINGSPAN LIGHT + AIR BRISTOL
ALUMINUM CURB MOUNTED SMOKE VENT MODEL
SVMA-CM-1 (ICC-ESR 3177); TOTAL 7

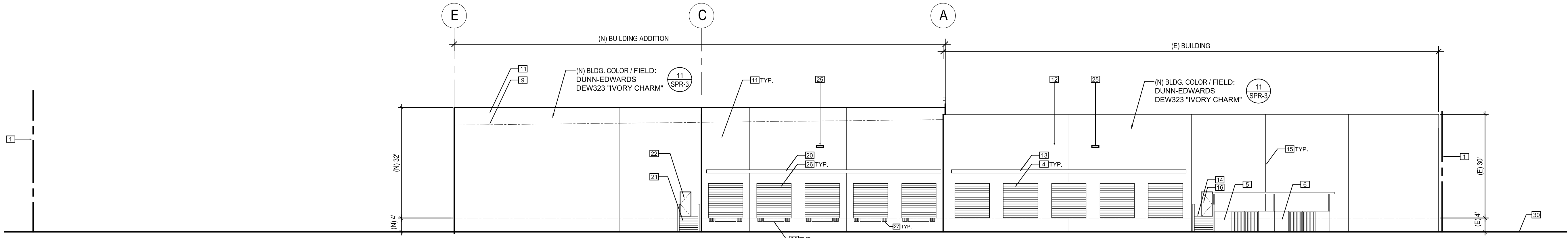
[S.V.] 4'-0" x 8'-0" KINGSPAN LIGHT + AIR TURFLITE
POLYCARBONATE STEEL CURB MOUNTED
SKYWAVE SKYLIGHT w/ VORTEX VENTING BASE
MODEL 4896-SSLVI-CM-1-WPC-MF (ICC-ESR 3177);
TOTAL 15



PROPOSED BUILDING ROOF PLAN

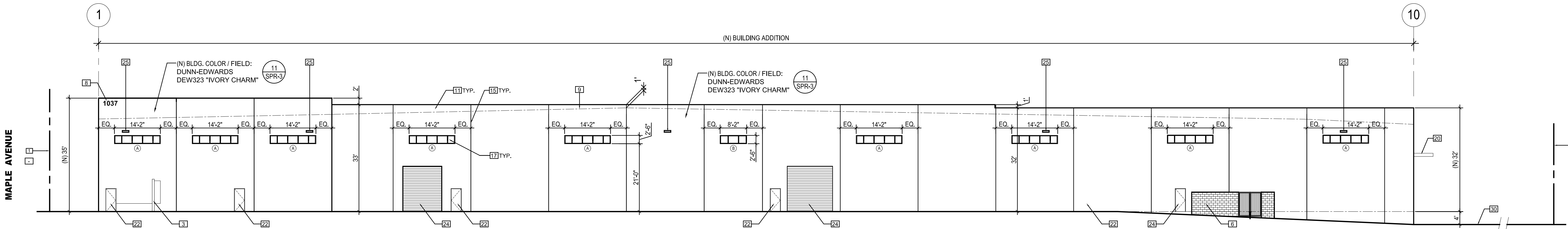
1/16"=1'-0"





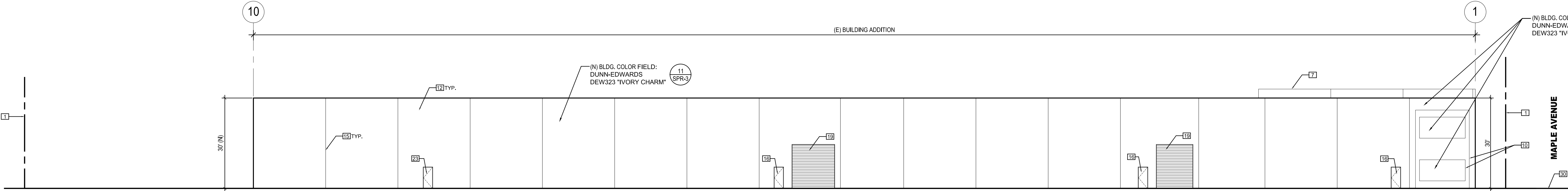
WEST ELEVATION

1/16"=1'-0"



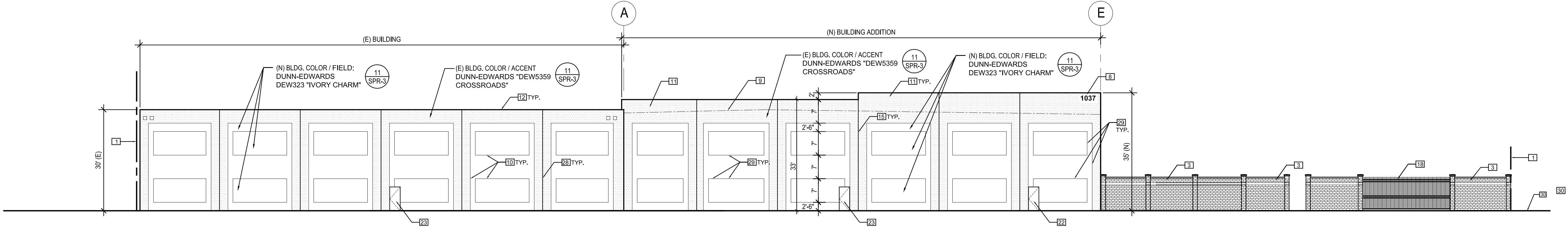
NORTH ELEVATION

1/16"=1'-0"



SOUTH ELEVATION

1/16"=1'-0"



EAST ELEVATION

1/16"=1'-0"

SYMBOL	DESCRIPTION
1	PROPERTY LINE
2	(N) 10'-0" x 10'-6" HIGH TRUCK DOOR
3	8 FT. HIGH "SCREEN WALL" SLUMP STONE BLOCK WALL
4	(E) 10'-0" x 10'-6" HIGH TRUCK DOOR
5	(E) 6' HIGH TRASH ENCLOSURE & COVER, TO MATCH EXISTING
6	(N) 6' HIGH TRASH ENCLOSURE
7	(N) WALL BEYOND
8	BUILDING ADDRESS
9	(N) BUILDING ROOF LINE
10	(E) SCORED LINE, PAINTED
11	(N) PRECAST CONC. TILT-UP WALL PANEL, PAINTED
12	(E) PRECAST CONC. TILT-UP WALL PANEL, PAINTED
13	(E) METAL CANOPY
14	(E) CONC. STAIRS AND RAILINGS
15	PANEL JOINT - TYP.
16	(E) METAL MAN DOOR, PAINTED
17	STOREFRONT GLAZING: ARCADIA INC. 2" x 4 1/2" CENTER GLAZED STOREFRONT SYSTEM FOR 1" GLASS; FINISH (CLEAR ANODIZED; GLAZING OLD CASTLE GLASS 1/2" ATLANTICA + 1/2" AIR (SIG) + 1/4" CLEAR (TEMP. GLASS)
18	(N) 8'-0" HIGH WROUGHT IRON SLIDING GATE
19	(E) TRUCK DOOR
20	(N) METAL CANOPY
21	(N) CONC. STAIRS AND RAILINGS
22	(N) METAL MAN DOOR, PAINTED
23	(N) 3'-0" x 7'-0" FIRE DEPT. EXIT DOOR
24	(N) 12'-0" x 14'-0" TRUCKDOOR
25	(N) EXTERIOR WALL LIGHTING
26	(N) DOCK LEVELERS
27	(N) RUBBER BUMPERS
28	(E) PANEL JOINT
29	(N) SCORED LINE, PAINTED
30	FIN. GRADE LINE

KEY NOTES

WINDOW SCHEDULE

SEE SHEET A-10

ARCHITECT
FURUTO RUBIO & ASSOCIATES
15901 Loma Verde Avenue, Suite 400, Torrance, CA 90504
Tel: 310.590.8770 Fax: 310.590.8774

DESIGNED ARCHITECT
FOR FURUTO RUBIO & ASSOCIATES
NO. 201983
EX-20-23
OF CALIFORNIA

BUILDING ELEVATIONS

ROYAL PAPER BOX CO.

1037 S MAPLE AVENUE

MONTEBELLO, CA 90640

DATE

11/01/22

SCALE

1/16"=1'-0"

DRAWN BY

FRA

JOB NO.

16-149

DRAWING NO.

SPR-4

Page 30 of 33



**NOTICE OF PUBLIC HEARING
CITY OF MONTEBELLO PLANNING COMMISSION**

**Site Plan Review
Categorical Exemption (§15332 – Class 32 “In-Fill Development”)**

Location: 1029 and 1037 South Maple Avenue, Montebello, CA 90640

Case No.: PC-2022-0012-SPR/ENV No. 15-22-CE

Applicant: Roy Furuto/ Royal Paper Box Co.

Project Description: A Site Plan Review (SPR) application to allow the addition of 53,534 square feet to an existing warehouse building on the properties located at 1029 and 1037 South Maple Avenue. (“Project Site”).

Zone: M-1 (Light Manufacturing)

General Plan Designation: Industrial

Environmental: The proposal is considered a “Project” and is categorically exempt under the California Environmental Quality Act (CEQA) Section 15332 – Class 32 (In-Fill Development).

NOTICE IS HEREBY GIVEN that the City of Montebello (“City”) Planning Commission (“Planning Commission”) will hold a public hearing to consider the Site Plan Review application described above. The meeting is scheduled to be held on:

Date: Tuesday, March 7, 2023

Time: 6:30 p.m.

Place: City Hall Council Chambers
1600 West Beverly Boulevard, Montebello, CA, 90640

For those interested in participating in-person during the Public Comment period(s) or public testimony period for Public Hearings of the Planning Commission, you may address the Planning Commission in person the day of the meeting. Speakers will be required to fill out a speaker card provided at the door and turn it into the Administrative Secretary prior to each Public Comment announcement period. Staff will number and call each speaker card in the order received.

The public may also submit e-mailed comments via the City’s email address: pcpubliccomment@cityofmontebello.com where the public can submit written public comments up until the day of the meeting, **March 7, 2023 between 7:30 a.m. – 6:00 p.m.** These comments will be read out loud and submitted for the record. Additional Information related to the Planning Commission meetings can be located on the City’s webpage: <https://www.montebellocal.gov/cms/One.aspx?portalId=58756&pageId=61848>.

Written comments may also be mailed or delivered to the Planning Commission at the Planning Division office address identified below on or before the meeting date. If you challenge the matter in court, you may be limited to raising those issues you or someone else raised at the public hearing, or in written correspondence delivered to the City of Montebello at, or prior to, the public hearing.

For more information about the project and the related environmental documentation please contact:

Contact Person: Stacey A. Morales, Associate Planner

Phone: 323.887.1200 Ext. 463 / **Email:** smorales@cityofmontebello.com

Address: City of Montebello, City Hall, Planning Division, 1600 W. Beverly Blvd, Montebello, CA 90640

City Website: www.montebellocal.gov

Date of Publication: February 23, 2023

Notice of CEQA Exemption

To:

County of Los Angeles
Registrar-Recorder/County Clerk
12400 Imperial Highway
Norwalk, CA 90650

From:

City of Montebello
Planning & Community Development Department
1600 W. Beverly Blvd.
Montebello, CA 90640

Lead Agency: City of Montebello Planning and Community Development Department

Project Title: Construct a 54,244 square feet addition of floor area to an existing warehouse building

Project Location: 1029 and 1037 South Maple Avenue, Montebello, CA 90640

Case Number(s): PC-2022-0012-SPR

Description of Nature, Purpose, and Beneficiaries of Project: The Applicant (Roy Furuto, on behalf of Royal Paper Box Co) seeks approval to allow the addition of 54,244 square feet of floor area to an existing 53,671 square foot warehouse building on the properties located at 1029 and 1037 South Maple Avenue.

Name of the Public Agency Approving the Project: City of Montebello

Name of Person or Agency Carrying Out the Project: Roy Furuto, on behalf of Royal Paper Box Co

Exempt Status (*check one*)

- ☐ Ministerial (Sec. 21080(b)(1); 15268(b)(3))
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. Class 32 and Categorically Exempt per Section §15332 (In-Fill Development Projects)
☐ Statutory Exemptions.

Justification for Project Exemption:

Case No. PC-2022-0012-SPR is considered a “project,” per the (CEQA) definition of a “project.” The project is considered a Class 32 and Categorically Exempt per Section §15332 (In-Fill Development Projects), and none of the limitations set forth in CEQA Guidelines 15300.2 apply.

In order to qualify under an exemption pursuant to Class 32 of Section 15332 (In Fill Development Projects), the following environmental findings must also be made:

- a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.*

The proposed project conforms to the Montebello General Plan, Land Use Element in that the General Plan Land Use designation for the site is Industrial, and the zoning designation is M-1 (Light Manufacturing) and a warehouse use is allowed within an M-1 zone.

- b. The proposed development occurs within the city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.*

The proposed development consists of a combined lot area of 201,381 square feet located south of east Washington Boulevard and west of south Maple Avenue within city limits and thus, is less than the maximum five acres specified in Section 15332(b) for this exemption. The site is surrounded by existing developed urban industrial/manufacturing uses.

- c. The project has no value as habitat for endangered, rare or threatened species.*

The proposed project has been verified to present no value as habitat for endangered, rare or threatened species as the proposed development is on a vacant lot. The subject property is surrounded by urban industrial/manufacturing development.

- d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or*

Notice of CEQA Exemption

water quality.

The proposed project shall not have any significant effects relating to traffic, noise, air quality, or water quality that is not already anticipated during construction. Standard construction controls would be implemented to ensure that construction traffic, noise, air quality, or water quality maintains acceptable levels. Additionally, construction shall take place on site as restricted by the MMC Section 9.08.050 to construct during the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday, and weekends and holidays from 9:00 a.m. to 6:00 p.m. Lastly, the site is located near the intersection of two designated truck routes – Vail Avenue and East Washington Boulevard.

- e. The site can be adequately served by all required utilities and public services.*

The project has been reviewed by City staff and it has been determined that it can be adequately served by all required utilities and public services.

The City has further considered whether the project is subject to any of the exceptions to the use of a categorical exemption found at CEQA Guidelines Section 15300.2. This section prohibits the use of categorical exemptions under the following circumstances:

- a. For certain classes of projects (Classes 3, 4, 5, 6 and 11) due to location where the project may impact an environmental resource or hazardous or critical concern;
- b. When the cumulative impact of successive projects of the same type in the same place, over time, is significant;
- c. Where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances;
- d. Where the project may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway;
- e. Where the project is located on a state designated hazardous waste site; and
- f. Where the project may cause a substantial adverse change in the significance of a historical resource.

The property is a vacant underutilized lot in the M-1 (Light Manufacturing) zone which Staff has concluded that there will not be any significant impacts in regards to location, cumulative impact, significant effects, scenic highways, hazardous waste sites, or historical reservations. This project is Class 32, therefore, the location of the project shall not impact any environmental resource, hazardous, or critical concern. There is no reason to believe that there shall be any cumulative or significant impact over time as an industrial use is reserved for this specific location. The location is approximately 4,600 feet away from the closest highway and has not been officially designated as a state scenic highway. In addition, the project is bounded to the north, south and west by designated truck routes. Staff also reviewed Government Code Section 65962.5 and this specific property is not located on a hazardous waste site. Lastly, Staff has not discovered any historical resources that may cause any adverse changes.

Lead Agency Contact Person: Joseph Palombi, Director of Planning and Community Development
Area Code/Telephone/Extension: (323) 887-1200

If filed by applicant, attach certified document issued by the Planning and Community Development Department stating that the Department has found the project to be exempt.

Signature: _____ **Date:** _____ **Title:** _____
☐ Signed by Lead Agency ☐ Signed by Applicant