



**PLANNING COMMISSION
MEETING AGENDA**

TUESDAY, MARCH 4, 2025 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

PLANNING COMMISSION MEMBERS

**ARMANDO MEDINA, CHAIR
NATALIA LOMELI, VICE CHAIR
VICTOR CUEVAS, PLANNING COMMISSIONER
ALICIA MORALES, PLANNING COMMISSIONER
VACANT, PLANNING COMMISSIONER**

CITY STAFF

**JOSEPH PALOMBI, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
VIVIANA ESPARZA, PLANNING MANAGER
MARIA CELESTE ALCANTAR, MANAGEMENT ANALYST**

NOTICES

This Planning Commission Meeting will be held in person and will meet at **City Hall – City Council Chambers, 1600 West Beverly Boulevard, Montebello, California**. The meeting will be live streamed and can be watched on the City's website and YouTube Channel via the following link: <https://www.montebelloca.gov>, and may also be viewed on Spectrum Public Access Channel 3 for all Spectrum cable subscribers.

AMERICANS WITH DISABILITIES ACT: In compliance with the Americans with Disabilities Act (ADA) any person with a disability who requires special accommodations in order to participate in a meeting should contact **Maria Celeste Alcantar, Management Analyst at (323) 887-1486** Monday-Thursday from 7:30 a.m.-5:30 p.m. Please call 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II 1203). If you require translation services, please contact us 24 hours before this meeting.

PUBLIC COMMENTS:

In-Person: For those interested in participating during the Public Comment period(s) or public testimony period for Public Hearings of the Planning Commission meetings, you may address the Planning Commission in person the day of the meeting. Speakers will be required to complete a speaker card provided at the door and submit it to the **Maria Celeste Alcantar, Management Analyst** prior to each Public Comment announcement period. Staff will number and call each speaker card in the order received.

Via Email: The public may also submit emailed comments via the following email address: pcpubliccomment@montebelloca.gov up until the day of the meeting, **Tuesday, March 4, 2025, by 6:00 p.m.** These comments will be submitted to all members of the Planning Commission and will not be read aloud, but will be entered into the record of the proceedings to the extent they relate to matters listed on the posted agenda or otherwise address matters/issues within the subject matter jurisdiction of the Planning Commission. Any requests to provide public comment which is submitted after the deadlines indicated above will not be submitted to the Planning Commission, with the exception of non-agenda written item comments which will be held over for the next regularly scheduled meeting.

RULES OF DECORUM:

Pursuant to Section 54957.95 of the Government Code, the presiding member of the legislative body conducting a meeting, or their designee, is authorized to remove, or cause the removal of, an individual for disrupting the meeting. Any such removal will be preceded by a warning to the disruptive individual by the presiding member of the legislative body or their designee that the individual's behavior is disrupting the meeting and that the individual's failure to promptly cease their disruptive behavior may result in their removal.

AGENDA MATERIALS: The agenda and agenda packet related to items on this agenda are available for public inspection at City's website at: [Agendas, Minutes, and Videos](#),

IN CONSIDERATION OF OTHERS, PLEASE TURN OFF, OR MUTE, ALL CELL PHONES AND PAGERS
THANK YOU FOR YOUR COOPERATION

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

CORRECTIONS TO THE AGENDA

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS

MINUTES

1. **APPROVAL OF THE MINUTES FROM THE PLANNING COMMISSION MEETING HELD ON FEBRUARY 18, 2025.**

PUBLIC HEARING

2. **CONDITIONAL USE PERMIT ("CUP") (CASE NO. PC-2024-0015-CUP) TO ALLOW THE ON-SITE SALE OF A FULL LINE OF ALCOHOLIC BEVERAGES (ALCOHOLIC BEVERAGE CONTROL LICENSE TYPE 47) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MONTEBELLO PUBLIC MARKET) FOR THE PROPERTY LOCATED AT 516 W. WHITTIER BOULEVARD ("THE PROPERTY").**

RECOMMENDATION: It is recommended that the Planning Commission conduct a public hearing and take the following action:

1. ADOPT Resolution No.3-25 approving a Conditional Use Permit (Case No. PC-2024-0015-CUP), subject to certain findings and conditions to allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant for the property located at 516 W. Whittier Blvd. (Montebello Public Market); and
2. DETERMINE AND FIND that the project (ENV No. 12-24-CE) is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section (15301) related to Class 1 "Existing Facilities" as it involves negligible or no expansion of the existing or former use.

3. **ZONE VARIANCE ("ZV") (CASE NO. PC-2024-0016-ZV) TO ALLOW DEVIATION FROM THE R-3 ZONING PARKING STANDARDS OUTLINED IN MONTEBELLO MUNICIPAL CODE SECTION 17.10.020 (RESIDENTIAL DEVELOPMENT STANDARDS TABLE). SPECIFICALLY, TO DEVIATE FROM THE MINIMUM PARKING SPACES REQUIRED PER DWELLING UNIT LOCATED AT 224 S. GREENWOOD AVENUE.**

RECOMMENDATION: The Planning Commission will conduct a public hearing to consider the following action:

1. ADOPT Resolution No. 04-25 approving Zone Variance (ZV) Case No. PC-2024-0016-ZV), subject to certain findings and conditions to allow deviation from the R-3 zoning parking standards outlined in Montebello Municipal Code Section 17.10.020 (Residential Development Standards

- Table). Specifically, to deviate from the minimum parking spaces required per dwelling unit located at 224 S. Greenwood Avenue ("Project Site"); and
2. DETERMINE AND FIND that the project (ENV No. 13-24-CE) is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 related to "Existing Facilities" a Class 1 Categorical Exemption.

PLANNING COMMISSION ORALS

Planning Commission member announcements; requests for future agenda items; conference/meetings reports.

ADJOURNMENT

The City of Montebello Planning Commission will adjourn to the next Regular Meeting on **March 18, 2025 at 6:30 p.m.** at City Hall Council Chambers located at 1600 W. Beverly Boulevard, Montebello, CA 90640.

I, **Maria Celeste Alcantar, Management Analyst** for the City of Montebello hereby certify that a copy of this agenda has been posted on or before Thursday, February 27, 2025, 5:30 p.m.



Maria Celeste Alcantar, Management Analyst



CITY OF MONTEBELLO

PLANNING COMMISSION MEETING AGENDA

MINUTES

TUESDAY, FEBRUARY 18, 2025 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

CALL TO ORDER – Chair Morales called the meeting to order at 6:35 p.m.

ROLL CALL – Chair Morales, Vice-Chair Medina, Commissioner Cuevas, and Commissioner Lomeli.

PLEDGE OF ALLEGIANCE – Chair Morales.

PLANNING COMMISSION REORGANIZATION

Director Palombi proposed that we address this item following the conclusion of the Brown Act Refresher Presentation. The Planning Commissioners unanimously agreed to this arrangement.

CORRECTIONS TO THE AGENDA – None.

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS

Director Palombi and staff presented Chair Morales with a few gifts in appreciation of her service as Chair of the Planning Commission.

MINUTES

1. Approval of the Minutes from the Planning Commission meeting held on January 7, 2025.

Commissioner Cuevas motioned to approve the meeting minutes and was Seconded by Vice-Chair Medina. Planning Manager, Viviana Esparza took roll, and the item was approved 4-0.

PRESENTATION

City Attorney Austin A. Ching provided a brief presentation on the Brown Act, covering rules on open meetings and public transparency.

PLANNING COMMISSION REORGANIZATION

Director Palombi stated that, pursuant to M.M.C 2.40.030, the Planning Commission selects a Chair from among its members for a one-year appointment. It has been the Commission's tradition to follow the City Council's appointment structure, with the Mayor's appointee typically being next in line. Commissioner Lomeli, the Mayor's appointee, declined and nominated Vice-Chair Medina for the position of Chair and was Seconded by Commissioner Cuevas. Vice-Chair Medina accepted. Commissioner Cuevas motioned to appoint Commissioner Lomeli for the position of Vice-Chair and was Seconded and accepted by Commissioner Lomeli.

MOTIONED: Commissioner Lomeli

SECONDED: Commissioner Cuevas

APPROVED: 4-0-0-0

AYES: Chair Morales, Vice-Chair Medina, Commissioner Cuevas, and Commissioner Lomeli

NOES: None.

ABSTAIN: None.

ABSENT: None.

PLANNING COMMISSION ORALS

Chair Morales congratulated Vice-Chair Medina on his new appointment. Vice-Chair Medina thanked Chair Morales for her service as Chair of the Planning Commission.

ADJOURNMENT

The meeting was adjourned at 7:16 p.m. to the next regularly scheduled meeting that will be held on March 4, 2025.

Joseph Palombi, Planning Commission Secretary



ITEM # 2

**CITY OF MONTEBELLO
PLANNING COMMISSION AGENDA STAFF REPORT**

TO: Members of the Planning Commission

FROM: Joseph Palombi, Planning & Community Development Director

BY: Grace Hayashi, Assistant Planner

SUBJECT: **CONDITIONAL USE PERMIT (“CUP”) (CASE NO. PC-2024-0015-CUP) TO ALLOW THE ON-SITE SALE OF A FULL LINE OF ALCOHOLIC BEVERAGES (ALCOHOLIC BEVERAGE CONTROL LICENSE TYPE 47) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MONTEBELLO PUBLIC MARKET) FOR THE PROPERTY LOCATED AT 516 W. WHITTIER BOULEVARD (“THE PROPERTY”).**

DATE: March 4, 2025

RECOMMENDATION(S):

It is recommended that the Planning Commission conduct a public hearing and take the following action:

1. ADOPT Resolution No.03-25 approving a Conditional Use Permit (Case No. PC-2024-0015-CUP), subject to certain findings and conditions to allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant for the property located at 516 W. Whittier Blvd. (Montebello Public Market); and
2. DETERMINE AND FIND that the project (ENV No. 12-24-CE) is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section (15301) related to Class 1 “Existing Facilities” as it involves negligible or no expansion of the existing or former use.

BACKGROUND:

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On November 14, 2024, Yao Pan (“Applicant”) filed an application for Conditional Use Permit (Case No. PC-2024-0015-CUP) to allow for a full line of alcohol for on-site consumption in conjunction with the operation of a restaurant located at 516 W. Whittier Boulevard, pursuant to Chapter 17.61 of the Montebello Municipal Code.

In addition to the City’s discretionary review process, this proposal is also subject to licensing by the California Department of Alcohol and Beverage Control (“ABC”). ABC was created in 1955 as an independent department of the executive branch of the State’s government and has exclusive power to license and regulate the manufacture, importation, and sale of alcoholic beverages within the State. It also has the power to deny, suspend, or revoke any specific alcoholic beverage license. In this case, the applicant is requesting a Type 47 license from ABC. This license would allow for the on-site sale and consumption of full line of alcoholic beverages at a public eating place.

As part of the application process, on November 18, 2024, staff issued a deemed complete letter to the Applicant, pursuant to California Government Code Section 65943 et seq.

PROJECT /APPLICANT INFORMATION

Project Location: 516 W. Whittier Blvd.

Project Applicant: Yao Pan (Montebello Public Market)

Property Owner: Yao Pan

General Plan Designation: Downtown

Zoning: Downtown Montebello Specific Plan

Existing Use on Property: Commercial

PROJECT DESCRIPTION

The Applicant seeks approval of a Conditional Use Permit to allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant (Montebello Public Market) for the property located at 516 W. Whittier Boulevard. Montebello Public Market will be a public market with seven types of restaurants specializing in all culture foods. If approved, the Conditional Use Permit will allow for the on-site sale and consumption of beer, wine, and spirits on the premises, which will complete the menu offerings while meeting guest demands for full dining experience.

The proposed restaurant is housed within a 6,450 square-foot space within an existing commercial building. Montebello Public Market will consist of 7 different kitchen units providing different cuisines. Within the restaurant’s dining area there are ninety-five (94) patron seats, including twenty (20) within the patio dining area, and seventy-four (74) in the main dining area/bars seating. The bar area is not separate from the main dining area seating, and a full menu of food items is available throughout all seating areas. The patio area is outlined in the attached floor plan and utilizes existing building space, therefore there will be no expansion on the public-right-of-way to accommodate for the patio seating. The restaurant will also have a 12’ x 6’ stage providing live music performances featuring a variety of bands to enhance customer experience. The live entertainment is aimed at attracting customers and providing a platform for local musicians, contributing to the cultural fabric of the area. Section 4.10 Glossary of the Montebello Downtown

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Specific Plan permits a restaurant to provide entertainment for the customer by performers of the arts (music, dance, comedy, readings, etc.).

The sale of alcohol will remain ancillary to the main function of the restaurant being food preparation and meal service. The proposed business hours will be from 11:00am to 9:00pm, Monday through Sunday and a complete menu of food items will be available at all hours of operation. Only on-site consumption is requested through this CUP, and no off-site sales are proposed. Per the Department of ABC guidelines, all restaurant staff involved with the sale of alcohol will be required to complete an authorized Responsible Beverage Service (RBS) program to be trained how to sell alcohol safely and responsibly. This training program includes requesting and reviewing proper identification to confirm the legal drinking age and avoid over-service of restaurant patrons. If the proposed Conditional Use Permit is approved, the property owner will be required to obtain a business license from the City to occupy the building for the new restaurant. Additionally, each tenant operating in the restaurant will need to individually obtain a business license. Consequently, the Applicant would obtain administrative building permits to complete proposed tenant improvements.

ENVIRONMENTAL:

The proposed Conditional Use Permit No. (Case No. PC-2025-0015-CUP) is considered a “project,” per the California Environmental Quality Act (“CEQA”) definition of a “project.” The project is Categorically Exempt per Section §15301 (a) (Existing Facilities), Class 1, of the CEQA Guidelines because the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination such as interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances is considered exempt. Other than minor interior improvements, there will be no expansion to the interior or exterior of the existing facilities in connection with the proposed Project.

ANALYSIS:

Project Site

The Project Site is zoned for Downtown Specific Plan (Main Street) and is designated Main Street within the Downtown Specific Plan. The Project site is surrounded by other commercial uses. The surrounding zoning and land uses are listed as follows:

Direction	Zone	Land Use
North	Downtown Plan	SpecificDowntown (Downtown Edge)
South	Downtown Plan	SpecificDowntown (Main Street)
East	Downtown Plan	SpecificDowntown (Main Street)
West	Downtown Plan	SpecificDowntown (Main Street)

The project site is located within an existing standalone, single-story building located on the cross streets of West Whittier Boulevard and North 6th Street. The lot size totals 6,373 square feet and is developed with a 6,450 square foot commercial building that will be occupied by the proposed restaurant. There is one patron entrance on West Whittier Blvd. Parking options include parallel on-street parking, and public and private parking lots within walking distance. These parking options are strategically located throughout the Downtown Area to provide convenient access to the various amenities providing opportunities for the community to park only once and enjoy the Downtown area on foot. Pursuant to the Montebello Municipal Code Chapter 17.70, Conditional Use Permits, Section 17.70.100 Yard, Area, and Off-Street Parking Requirements states that, “[t]he requirements of this title relating to yard, building and structure height, area and off-street parking requirements, for any use for which a conditional use permit is required, shall be observed, except where the commission and/or council finds that specific alterations and/or exemptions are reasonable and are required to be made”. Along Whittier Boulevard, on-street parking is typically provided that is unmetered and generally have two-hour time limits.

Business Operation

As mentioned, the proposed CUP would allow an ABC Type 47 alcohol license for the Montebello Public Market during the restaurant’s hours of operation from 11:00am to 9:00pm, Monday through Sunday.

ABC License Type

The Applicant is requesting to allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant (Montebello Public Market) Table X identifies the number of licenses authorized by Census Tract number 5301.01. Table Y identifies the current alcoholic beverage licenses for that specific census tract number.

Table (X)

County Name	Population	Census Tract #	Census Tract Population	Allowed On Sale	Allowed Off Sale	Existing On Sale	Existing Off Sale
Los Angeles	9824091	5301.01	3,296	5	3	5	0

Table (Y)

License Number	Status	License Type	Premises Address	Business Name
30559	Active	52	616 W. Cleveland Avenue	American Legion Post 272
30559	Active	58	616 W. Cleveland Avenue	American Legion Post 272
427892	Active	47	125 N. 6 th Street	Salvatore Italian Restaurant
364538	Active	58	506 W. Whittier Blvd	Montebello Lodge No. 2051
422212	Active	51	506 W. Whittier Blvd	Montebello Lodge No. 2051

FINDINGS-CONDITIONAL USE PERMIT

Pursuant to MMC Section 17.61.030, Planning Commission approval of a CUP for the sale of alcohol is required. The above-referenced code section states, "...no place where alcohol beverages are sold, served or given away as a normal course of business for on-sale consumption, shall be established without first obtaining a conditional use permit from the City of Montebello." The proposed alcohol sales would be an accessory use to the permitted restaurant use, and alcohol sales would be permitted with a CUP.

Pursuant to Section 17.61.050 of the MMC, before any CUP shall be granted, all of the following findings must be made:

A. Describe how the site for the proposed use would not adversely affect the general welfare of the surrounding property owners.

The restaurant is properly located along Whittier Boulevard and is a long-standing established commercial thoroughfare. The site is located within the Downtown Specific Plan Zone (Main Street), a restaurant being permitted to use within this zone. Abutting properties along Whittier Boulevard include a large variety of other commercial uses which also serve the surrounding community. Properties along the Downtown Corridor provide alcoholic beverages ancillary with the restaurant use. The proposed request for the Type 47 will not alter the operations of the existing building. The proposed operator (Montebello Public Marke) is proposing to operate a restaurant business within the existing building, as well as alter the interior to accommodate their future restaurant business. The proposed operator will be implementing measures such as controlled hours, soundproofing, and security to ensure a safe environment. Therefore, the proposed request will not adversely affect the general welfare of the surrounding property owners.

B. Describe how the proposed use would not result in an undesirable concentration of premises for the sale of alcoholic beverages, including beer and wine, in the area.

By state law, ABC may only grant a limited number of alcohol licenses based on a "per census-tract" quantity. Meaning that only a certain number of license types are granted in any given census tract area to avoid undue concentration of alcohol sales. As a result, the approval of PC-2025-0015-CUP does not guarantee that the Applicant will receive an alcohol license from the State. As the sole alcohol licensing and enforcement agency, ABC will ultimately determine the appropriate License Types and requirements at the proposed Project Site. The proposed request supports the community's progress, adding to the growth of the City. Any operational conditions placed on the approval of the request will safeguard the public's welfare and further protect the integrity of the community.

The restaurant is located within census tract 5301.01, and the Department of ABC has allocated five on-site licenses for this tract. There are currently five (5) existing on-sale licenses within the tract, not including the subject restaurant, so the tract will be considered undue concentration once obtained by Montebello Public Market.

By State law, the Department of ABC may only grant a limited number of alcohol licenses based on a “per census-tract” quantity. Meaning that only a certain number of license types are granted in any given census tract area to avoid undue concentration of alcohol sales. As a result, the approval of Case No. PC-2024-0015-CUP does not guarantee that the Applicant will receive a Type 47 license from the State. As the sole alcohol licensing and enforcement agency, the Department of ABC will ultimately determine the appropriate license types and requirements at the proposed Project Site.

C. Describe how the proposed use would not detrimentally affect the nearby surrounding area after giving special consideration to the proximity and nature of the proposed use with respect to other on-sale or off-sale alcoholic beverage establishments, residential districts and uses, schools (public or private), day care centers, public parks, playgrounds and other recreational facilities, churches, and other places of religious worship, hospitals, clinics, or other health care facilities.

The proposed restaurant with on-sale alcoholic beverage sales is within 300-feet of a residential district. The proposed use is within 1000 feet of sensitive uses consisting of the Montebello Christian School, Fair Havens Ministry, and St Pius X Knanaya Catholic Church. These uses are sufficiently buffered from the restaurant operating as the business will be contained within the existing building. The restaurant is located within the Downtown Specific Plan surrounded by other existing establishments providing on-sale beverages for consumption ancillary with the restaurant use. The restaurant has suitable operating hours, and all restaurant operations occur within the building which limits the chance of unnecessary noise disrupting the neighborhood. The hours of operation are 11:00am to 9:00pm, Monday through Sunday. If operated in accordance with the law and the mandatory Conditions of Approval, the primary use of the subject site as a restaurant with on-site alcohol (Type 47) and live music should not be problematic to the surrounding sensitive uses as the conditions of approval will mitigate measures such as limits to noise levels, alcohol awareness training for staff, security, and annual compliance reviews. Additionally, it will be required to meet conditions of approval that affect the hours of operation, safety, parking, lighting, and property maintenance of the proposed use to ensure minimal impacts on the neighboring uses and surrounding properties.

D. Describe how the proposed use would not aggravate existing problems created by the sale of alcohol (e.g., littering, loitering, noise, public drunkenness, calls for service, and sales to minors).

The sale of alcohol is ancillary to the main function of the restaurant which remains food preparation and meal service. The sale of alcoholic beverages is for on-site consumption only, and no off-site sales are proposed, which eliminates many of the issues associated with that type of operation. Employees that are involved with the sale of alcohol will be trained in how to do so responsibly and safely. Per the Department of ABC requirements, each employee handling alcohol will be required to attend an ABC approved Responsible Beverage Service (RBS) training course.

The proposed operator will be implementing measures such as controlled hours, soundproofing, and security to ensure a safe environment. Therefore, the proposed request will not adversely affect the general welfare of the surrounding property owners.

E. Describe how the proposed use is in conformance with the goals, policies, and objectives of the General Plan and the purpose and intent of this code and any applicable specific plan.

The location of the restaurant operating is appropriate. The site is located within the Montebello Downtown Specific Plan (Main Street) zone and the underlying use of a restaurant is permitted by right within this zone. The Land Use Table in the Downtown Specific Plan in the Main Street zone permits restaurants by right.

The restaurant is located within an existing structure with no plans to expand or alter the exterior of the existing building. The proposed use conforms with the following Policies/Goals of the Montebello Downtown Specific Plan:

Policy/Goal	Description
Downtown Specific Plan:	The plan for the restaurant aligns with the urban design goals of the General Plan. The building established as the entertainment and design, signage, and dining area will be cultural heart of the city by creating a harmony with the surrounding area's aesthetic central space in Downtown for character, thereby contributing to the visual appeal of the district.
Policy #1.6, "Downtown will be re-design goals of the General Plan. The building established as the entertainment and design, signage, and dining area will be cultural heart of the city by creating a harmony with the surrounding area's aesthetic central space in Downtown for character, thereby contributing to the visual appeal of the district. complementary uses and activities."	
Downtown Specific Plan:	This existing vacant commercial space offers new opportunity for a business to develop.
Policy #3.2, "Retain existing and new opportunity for a business to develop attract small, unique, and locally owned entrepreneurial and creative businesses that reinforce experience with live music and local culture. Downtown's identity".	
Downtown Specific Plan: Policy #2.3, "Enhance Downtown's character through compact and walkable infill development."	Montebello Public Market will provide a new experience to Downtown, bringing a unique dining experience with live music and local culture. revitalizing underused spaces, attracting residents and visitors, and supporting economic growth and job creation.
General Plan: Policy #2.5, "Nurture the local business community."	The existing commercial space has been underutilized. The restaurant will provide infrastructure improvement to the Downtown Boulevard, assuring that this local business can thrive. The proposed operator is looking to hire local artists to perform as part of the entertainment aspect. This will create a strong connection between the business and local residents.

F. Serves the public convenience or necessity based upon factors outlined in Section 17.61.060 of the MMC. This finding shall only apply to conditional use permit applications for bars, off-sale alcoholic beverage establishments, and any other applications that the State Department of Alcoholic Beverage Control determines are located in an area of undue concentration as defined by state law (California Business and Professions Code Section 23958.4.). The factors outlined in Section 17.61.060 of the MMC are:

- *Whether the proposed use will result in a net employment gain in the city (especially of local residents);*

If the Type 47 ABC license is approved for the Project Site, Montebello Public Market, the restaurant will be a newly operating business. This restaurant will offer the option to order alcohol with a meal and having that option at this location will attract more customers, subsequently leading to an increase in sales and demand, and resulting in the hiring of additional employees. There will be 32 people employed at this location. Since the operating business is near residential uses, this will provide employment within walking distance promoting a walkable Downtown area.

- *Whether the proposed use will result in a substantial increase in business taxes;*

Offering the sale of alcohol with a meal will result in an increase in tax revenues because more customers will be choosing to dine at Montebello Public Market, resulting in an increase in business revenue. Obtaining an on-sale license to sell a full line of alcohol will help the restaurant grow and generate additional tax revenues for the City. This proposal will also help retain paying customers within the City instead of losing customers to surrounding cities. This increase will be due not only to the direct sales from the newly upgraded alcohol license, but also the indirect effect of attracting more customers to the new and well-known restaurant.

- *Whether the proposed establishment is a unique business addition to the community;*

Montebello Public Market will offer a variety of unique dining experiences, with carefully curated menus and a comfortable atmosphere. The addition of a full line of alcohol sales will further differentiate the restaurant from others in the area, filling a niche for those looking for a new and exciting dining experience with alcoholic beverage options.

- *Whether the proposed use will contribute to the long-term economic development goals of the community;*

The Applicant's restaurant adds to the vitality of the commercial area in which it is located and to the City as a whole since it provides a neighborhood serving amenity that can be enjoyed by nearby residents and visitors. Additionally, it contributes positively to the City's economic health due to the fact that this well-known restaurant provides jobs and provides taxable revenues that can help provide essential services within the City.

- *Whether the aesthetic character ambiance of the proposed use will result in an overall positive upgrade in the area and community;*

The applicant's commitment to maintaining a clean, attractive, and welcoming environment will contribute to the aesthetic character of the area. The ambiance of the restaurant, combined with high standards of service and quality, will have a positive impact on the overall image of the community. Montebello Public Market will provide a casual outlet offering creative different cuisines and drinks in a funky space. The business seeks to offer its customers the full experience and cater to each individual as much as possible.

- *The viability of the business to operate profitable without alcohol sales.*

While the applicant believes that offering a full line of alcohol will enhance their customers' dining experience, their primary focus is on providing high-quality food and excellent service. The business model is not dependent on alcohol sales but rather views them as an additional service for patrons. Therefore, the restaurant is expected to operate profitably even without alcohol sales.

SUPPLEMENTAL QUESTIONS:

A. Describe how the proposed outdoor patio and/or patio seating area is accessory to the establishment.

The area utilizing the patio space will be taken from the interior of the existing building. The front door will be shifted approximately 7'6" inward to create space for twenty (20) patio seats. The newly created area will be utilized as a patio from existing space.

B. Describe how the proposed establishment, maintenance or operation of the accessory outdoor patio and/or patio seating will not be detrimental to the health, safety, peace, comfort and general welfare of persons in the neighborhood or injurious property or improvements in the area.

The outside patio will be built within the existing property boundary to preserve pedestrians with customer safety utilizing precautions. The proposed operator will create a 3-foot-tall railing to keep the customers comfortable at the restaurant. Therefore, the patio won't occupy any sidewalk area.

C. Describe how the proposed accessory outdoor patio and/or patio seating area will not eliminate any required on-site parking, interfere with public easements, and will comply with all applicable regulations of the Montebello Municipal Code.

The restaurant will not be utilizing any public area. The patio will be within the existing property boundary and building.

REPORTS RECEIVED

On November 20, 2024, the application materials for Case Number PC-2024-0015-CUP were forwarded to the Building and Safety, Public Works, Parks and Recreation, Traffic, and Police Departments for review, comments, and conditions. No significant comments or conditions were made during the Department Review period.

SUMMARY:

PUBLIC NOTIFICATION

Pursuant to MMC Section 17.78 (Public Hearings, Notices, and Appeals), the following noticing was performed:

- On February 20, 2025, the Public Hearing Notice was published in the Daily Journal (Whittier Daily News); and
- On February 20, 2025, the Public Hearing Notice was mailed to all property owners within a 300-foot radius from the exterior boundaries of the project site.

ATTACHMENT(S)

1. Attachment A - Resolution No. 3-25 (PC-2024-0015-CUP)
2. Attachment B - Project Site Plan
3. Attachment C - Notice of Exemption

**CITY OF MONTEBELLO
PLANNING COMMISSION**

RESOLUTION NO. 3-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MONTEBELLO, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. PC-2024-0015-CUP TO ALLOW THE ON-SITE SALE OF A FULL LINE OF ALCOHOLIC BEVERAGES (ALCOHOLIC BEVERAGE CONTROL LICENSE TYPE 47) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MONTEBELLO PUBLIC MARKET) FOR THE PROPERTY LOCATED AT 516 W. WHITTIER BOULEVARD AND ADOPTING A NOTICE OF EXEMPTION UNDER CEQA § 15301 (EXISTING FACILITIES)

WHEREAS, on November 14, 2024, Yao Pan, -- Montebello Public Market (“Applicant”) filed a Conditional Use Permit (“CUP”) application (PC-2024-0015-CUP) with the City of Montebello (“City”) to allow the on-sale consumption of a full line of alcohol at the Project Site (“Project”) at 516 W. Whittier Boulevard (“Project Site”); and

WHEREAS, a CUP application PC-2024-0015-CUP has been received and accepted; and

WHEREAS, the approval of a Conditional Use Permit for the sale of alcohol within “Allowable Land Uses” in the Main Street zone is required per the Downtown Specific Plan Table D.3 Land Use Table; and

WHEREAS, the CUP will allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant (Montebello Public Market) with patio seating at the Project Site; and

WHEREAS, the establishment meets the definition of a “bona fide restaurant” pursuant to Montebello Municipal Code (MMC) Section 17.61.020; and

WHEREAS, per MMC Section 17.61.030, Planning Commission approval is required for a CUP for the sale of alcoholic beverages for on-sale consumption; and

WHEREAS, pursuant to Section 21067 of the Public Resources Code, and Section 15367 of the State CEQA Guidelines (Cal. Code Regs., tit. 14, § 15000 et seq.), the City of Montebello is the lead agency for the proposed Project; and

WHEREAS, the CUP (PC-2024-0015-CUP) is considered a "project," as per the California Environmental Quality Act ("CEQA") definition of a "project"; and

WHEREAS, the Project is Categorically Exempt per CEQA Section §15301, Class 1 (Existing Facilities) because the Project consists of the operation, permitting, and licensing of an existing facility there will be no expansion of the interior or exterior footprint of the existing facility; and

WHEREAS, a duly noticed public hearing has been held, at which the Planning Commission received and considered staff presentations, recommendations, public testimony, and all other matters presented at the public hearing and included in the record for this matter, and all other legal prerequisites to the adoption of this Resolution have occurred; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW THEREFORE, the Planning Commission of the City of Montebello hereby finds, declares and resolves as follows:

SECTION 1. RECITALS. The foregoing recitals are true and correct and are hereby incorporated as substantive findings in this Resolution.

SECTION 2. FINDINGS.

A. Per MMC 17.61.050 the proposed use must meet CUP findings and determine if the use:

1. Describe how the site for the proposed use would not adversely affect the general welfare of the surrounding property owners.

The restaurant is properly located along Whittier Boulevard and is a long-standing established commercial thoroughfare. The site is located within the Downtown Specific Plan Zone (Main Street), a restaurant being permitted to use within this zone. Abutting properties along Whittier Boulevard includes a large variety of other commercial uses which also serve the surrounding community. Properties along the Downtown Corridor provide alcoholic beverages ancillary with the restaurant use. The proposed request for the Type 47 will not alter the operations of the existing building. The proposed operator (Montebello Public Marke) is proposing to operate a restaurant business within the existing building, as well as alter the interior to accommodate their future restaurant business. The proposed operator

will be implementing measures such as controlled hours, soundproofing, and security to ensure a safe environment. Therefore, the proposed request will not adversely affect the general welfare of the surrounding property owners.

2. Describe how the proposed use would not result in an undesirable concentration of premises for the sale of alcoholic beverages, including beer and wine, in the area.

By state law, ABC may only grant a limited number of alcohol licenses based on a “per census-tract” quantity. Meaning that only a certain number of license types are granted in any given census tract area to avoid undue concentration of alcohol sales. As a result, the approval of PC-2025-0015-CUP does not guarantee that the Applicant will receive an alcohol license from the State. As the sole alcohol licensing and enforcement agency, ABC will ultimately determine the appropriate License Types and requirements at the proposed Project Site. The proposed request supports the community’s progress, adding to the growth of the City. Any operational conditions placed on the approval of the request will safeguard the public’s welfare and further protect the integrity of the community.

The restaurant is located within census tract #5301.01, and the Department of ABC has allocated five on-site licenses for this tract. There are currently five (5) existing on-sale licenses within the tract, not including the subject restaurant, so the tract will be considered undue concentration once obtained by Montebello Public Market. By State law, the Department of ABC may only grant a limited number of alcohol licenses based on a “per census-tract” quantity. Meaning that only a certain number of license types are granted in any given census tract area to avoid undue concentration of alcohol sales. As a result, the approval of Case No. PC-2024-0015-CUP does not guarantee that the Applicant will receive a Type 47 license from the State. As the sole alcohol licensing and enforcement agency, the Department of ABC will ultimately determine the appropriate license types and requirements at the proposed Project Site.

3. Describe how the proposed use would not detrimentally affect the nearby surrounding area after giving special consideration to the proximity and nature of the proposed use with respect to other on-sale or off-sale alcoholic beverage establishments, residential districts and uses, schools (public or private), day care centers, public parks, playgrounds and other recreational facilities, churches and other places of religious worship, hospitals, clinics or other health care facilities.

The proposed restaurant with on-sale alcoholic beverage sales is within

300-feet of a residential district. The proposed use is within 1000 feet of sensitive uses consisting of the Montebello Christian School, Fair Havens Ministry, and St Pius X Knanaya Catholic Church. These uses are sufficiently buffered from the restaurant operating as the business will be contained within the existing building. The restaurant is located within the Downtown Specific Plan, surrounded by other existing establishments providing on-sale beverages for consumption ancillary with the restaurant use. The restaurant has suitable operating hours, and all restaurant operations occur within the building which limits the chance of unnecessary noise disrupting the neighborhood. The hours of operation are 11:00am to 9:00pm, Monday through Sunday. If operated in accordance with the law and the mandatory Conditions of Approval, the primary use of the subject site as a restaurant with on-site alcohol (Type 47) and live music should not be problematic to the surrounding sensitive uses as the conditions of approval will mitigate measures such as limits to noise levels, alcohol awareness training for staff, security, and annual compliance reviews. Additionally, it will be required to meet conditions of approval that affect the hours of operation, safety, parking, lighting, and property maintenance of the proposed use to ensure minimal impacts on the neighboring uses and surrounding properties.

4. Describe how the proposed use would not aggravate existing problems created by the sale of alcohol (e.g., littering, loitering, noise, public drunkenness, calls for service, and sales to minors).

The sale of alcohol is ancillary to the main function of the restaurant which remains food preparation and meal service. The sale of alcoholic beverages is for on-site consumption only, and no off-site sales are proposed, which eliminates many of the issues associated with that type of operation. Employees that are involved with the sale of alcohol will be trained in how to do so responsibly and safely. Per the Department of ABC requirements, each employee handling alcohol will be required to attend an ABC approved Responsible Beverage Service (RBS) training course. The proposed operator will be implementing measures such as controlled hours, soundproofing, and security to ensure a safe environment. Therefore, the proposed request will not adversely affect the general welfare of the surrounding property owners.

5. Describe how the proposed use is in conformance with the goals, policies, and objectives of the general plan and the purpose and intent of this code and any applicable specific plan.

The location of the restaurant operating is appropriate. The site is located within the Montebello Downtown Specific Plan (Main Street) zone and the underlying use of a restaurant is permitted by right within this zone. The Land Use Table in the Downtown Specific Plan in the Main Street zone permits restaurants by right.

The restaurant is located within an existing structure with no plans to expand or alter the exterior of the existing building. The proposed use conforms with the following Policies/Goals of the City of Montebello Land Use Element:

Policy/Goal	Description
Downtown Specific Plan: Policy #1.6, “Downtown will be re-established as the entertainment and cultural heart of the city by creating a central space in Downtown for community gathering, supported by complementary uses and activities.”	The plan for the restaurant aligns with the urban design goals of the General Plan. The building’s design, signage, and dining area will be in harmony with the surrounding area’s aesthetic character, thereby contributing to the visual appeal of the district.
Downtown Specific Plan: Policy #3.2, “Retain existing and attract small, unique, and locally owned entrepreneurial and creative businesses that reinforce Downtown’s identity”.	This existing vacant commercial space offers a new opportunity for a business to develop. Montebello Public Market will provide a new experience to Downtown, bringing a unique dining experience with live music and local culture.
Downtown Specific Plan: Policy #2.3, “Enhance Downtown’s character with compact and walkable infill development.”	Montebello Public Market will play a pivotal role in enhancing Downtown’s character through compact and walkable infill development by revitalizing underused spaces, attracting residents and visitors, and supporting economic growth and job creation.
General Plan: Policy #2.5, “Nurture the local business community.”	The existing commercial space has been underutilized. The restaurant will provide infrastructure improvement to the Downtown Boulevard, assuring that this local business can thrive. The

	proposed operator is looking to hire local artists to perform as part of their entertainment aspect. This will create a stronger connection between the business and local residents.
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Serves the public convenience or necessity based upon factors outlined in Section 17.61.060 of the MMC. This finding shall only apply to conditional use permit applications for bars, off-sale alcoholic beverage establishments, and any other applications that the California Department of Alcoholic Beverage Control determines are located in an area of undue concentration as defined by state law (California Business and Professions Code Section 23958.4.). The factors outlined in Section 17.61.060 of the MMC are:

- *Whether the proposed use will result in a net employment gain in the city (especially of local residents);*

If the Type 47 ABC license is approved for the Project Site, Montebello Public Market, the restaurant will be a newly operating business. This well-known restaurant chain will offer the option to order alcohol with a meal and having that option at this location will attract more customers, subsequently leading to an increase in sales and demand, and resulting in the hiring of additional employees. There will be 32 people employed at this location. Since the operating business is near residential uses, this will provide employment within walking distance promoting a walkable Downtown area.

- *Whether the proposed use will result in a substantial increase in business taxes;*

Offering the sale of alcohol with a meal will result in an increase in tax revenues because more customers will be choosing to dine at Montebello Public Market, resulting in an increase in business revenue. Obtaining an on-sale license to sell a full line of alcohol will help the restaurant grow and generate additional tax revenues for the City. This proposal will also help retain paying customers within the City instead of losing customers to surrounding cities. This increase will be due not only to the direct sales from the newly upgraded alcohol license, but also the indirect effect of attracting more customers to the new and well-known restaurant.

- *Whether the proposed establishment is a unique business addition to the community;*

Montebello Public Market will offer a variety of unique dining experiences, with carefully curated menus and a comfortable atmosphere. The addition of a full line of alcohol sales will further differentiate the restaurant from others in the area, filling a niche for those looking for a new and exciting dining experience with alcoholic beverage options.

- *Whether the proposed use will contribute to the long-term economic development goals of the community;*

The Applicant's restaurant adds to the vitality of the commercial area in which it is located and to the City as a whole since it provides a neighborhood serving amenity that can be enjoyed by nearby residents and visitors. Additionally, it contributes positively to the City's economic health due to the fact that this well-known restaurant provides jobs and provides taxable revenues that can help provide essential services within the City.

- *Whether the aesthetic character ambiance of the proposed use will result in an overall positive upgrade in the area and community;*

The applicant's commitment to maintaining a clean, attractive, and welcoming environment will contribute to the aesthetic character of the area. The ambiance of the restaurant, combined with high standards of service and quality, will have a positive impact on the overall image of the community. Montebello Public Market will provide a casual outlet offering creative different cuisines and drinks in a funky space. The business seeks to offer its customers the full experience and cater to each individual as much as possible.

- *The viability of the business to operate profitable without alcohol sales.*

While the applicant believes that offering a full line of alcohol will enhance their customers' dining experience, their primary focus is on providing high-quality food and excellent service. The business model is not dependent on alcohol sales but rather views them as an additional service for patrons. Therefore, the restaurant is expected to operate profitably even without alcohol sales.

SUPPLEMENTAL QUESTIONS:

1. *Describe how the proposed outdoor patio and/or patio seating area is accessory to the establishment.*

The area utilizing the patio space will be taken from the interior of the existing building. The front door will be shifted approximately 7'6" inward to create space for twenty (20) patio seats. The newly created area will be utilized as a patio from existing space.

2. *Describe how the proposed establishment, maintenance or operation of the accessory outdoor patio and/or patio seating will not be detrimental to the health, safety, peace, comfort and general welfare of persons in the neighborhood or injurious property or improvements in the area.*

The outside patio will be built within the existing property boundary to preserve pedestrians with customer safety utilizing precautions. The proposed operator will create a 3-foot-tall railing to keep the customers comfortable at the restaurant. Therefore, the patio won't occupy any sidewalk area.

3. *Describe how the proposed accessory outdoor patio and/or patio seating area will not eliminate any required on-site parking, interfere with public easements, and will comply with all applicable regulations of the Montebello Municipal Code.*

The restaurant will not be utilizing any public area. The patio will be within the existing property boundary and building.

SECTION 3. CEQA. The Planning Commission finds that the actions taken under the Resolution are exempt from CEQA under CEQA Categorical Exemption § 15301 (Existing Facilities) Class 1 exemption of the CEQA Guidelines. A Class 1 exemption under CEQA Guidelines § 15301 applies to projects resulting in the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing private structure involving negligible or no expansion of use. There will be no expansion to the interior or exterior of the existing facilities in the proposed Project. None of the exceptions found under CEQA Guidelines Section §15300.2 apply.

SECTION 4. APPROVALS. The Planning Commission hereby approves a modification to an existing CUP (Case No. PC-2024-0015-CUP) to allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant with patio seating subject to the conditions of approval set forth in Section 5 of this Resolution.

SECTION 5. CONDITIONS. The Planning Commission finds that the foregoing conditions of approval are necessary and appropriate.

1. The Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers, and employees from any claim, action, or proceeding brought against the City, its elected and appointed officials, agents,

officers, or employees arising out of, or which are related to the Applicant's project or application (collectively referred to as "proceedings"). The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities, and expenses incurred or awarded in connection with the proceedings whether incurred by the Applicant, the City and/or the parties initiating or bringing such proceedings. This indemnity provision shall include the Applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth herein. The City shall have the right to choose its own legal counsel to represent the City's interest in the proceedings.

2. The utilization of the subject site shall conform to the allowed use, except as provided for herein and by subsequent revisions found by the Director of Planning and Community Development ("Director") Department ("Planning Department") to be in substantial compliance with these provisions.
3. Development of the site shall be consistent with all of the provisions of the Montebello Municipal Code ("MMC") and Conditional Use Permit ("CUP") (PC-24-0015-CUP), and the specifications of the Planning Department.
4. Within 30 days of the Planning Department transmittal of the Acceptance Form, the Applicant shall sign and return a copy of the Acceptance Form, agreeing to the conditions of approval and acknowledging that failure to comply with such conditions shall constitute grounds for potential revocation of the permit approval. Failure to return the Acceptance Form within 30 days shall constitute grounds for terminating the permit.
5. The Director at any time, can call for a review of the approved conditions of approval at a duly noticed public hearing before the Planning Commission. These conditions(s) may be modified, or new condition(s) added to reduce any impacts of the use. The Planning Commission may revoke the CUP (PC-2024-0015-CUP) if sufficient cause is given.
6. Existing and/or proposed table layout shall meet the minimum aisle clearance as determined by the Building and Safety Division and City of Montebello Fire Department ("Fire Department").

7. In the event the Applicant violates or fails to comply with any conditions of approval of this permit, no further permits, licenses, approvals, or certificate of occupancy shall be issued until such violation(s) has been fully remedied.
8. The Applicant and operator shall prepare and submit an annual project compliance report. This report is due annually for the first three (3) years of alcohol sales, starting one-year from the date of issuance of an Alcoholic Beverage Control (“ABC”) license. The compliance report must be submitted to the Director to demonstrate compliance with the Conditions of Approval. The Director shall transmit the annual project compliance report to the Planning Commission to either receive and file or take any other action as deemed necessary.
9. In the event of a change of ownership transfer of ABC License, the conditional use permit will be brought back to the Planning Commission for review.
10. Any outdoor entertainment activities or sponsored events shall be subject to a Temporary Use Permit pursuant to Chapter 12.16 (“Temporary Permits for Outdoor Activities”) of the MMC.
11. The kitchen shall be open and serving food during all hours of operation in all dining areas of the establishment. Menus are subject to review and approval from the Planning Department as part of the annual compliance review.
12. The business shall be operated as a “bona fide restaurant” at all times, as defined in Section 17.61.020 of the MMC. A full menu shall be available to all patrons during all hours of operation. There shall be no restriction on the age of customers except as stated in the conditions of approval.
13. Prior to the commencement of alcohol sales, all employees who will sell alcoholic beverages shall be required to attend either the Department of ABC RBS training or a comparable in-house training program approved by the Director. Any employees hired after the commencement of alcohol sales shall be required to attend RBS training or the approved in-house training within thirty (30) days of their hire date.
14. No more than 50% of total gross revenues per year shall be from alcohol sales. The Applicant shall maintain records of gross revenue sources which shall be submitted to the Director and/or the Department of ABC upon request.

15. The operation shall at all times be conducted in a manner not detrimental to surrounding properties or residents by reason of lights, noise, activities, parking, and other actions. Site project management ("Management") shall patrol the business premises and the surrounding vicinity, including the public rights-of-way to the property, during all hours of operation. Management shall ensure that no littering, loitering, or consumption of alcohol occurs in and around the project site.
16. Permitted hours of operation shall be 11:00 AM to 9:00 PM Monday through Sunday.
17. The site and surrounding area shall be maintained in a litter and graffiti free manner. Any graffiti that occurs on the site shall be removed within 24 hours at Applicant, Site Owner ("Site Owner"), and/or Operator's own expense.
18. A decorative masonry wall of six feet in height shall be constructed around the parking area of such establishments when said area is adjacent to properties zoned or used for residential purposes or any other sensitive use, such as schools, churches, parks, etc.
19. The noise levels generated by the operation of such establishment shall not exceed sixty-five (65) dBA between the hours of seven (7) a.m. to ten (10) p.m., and not exceed sixty (60) dBA between the hours of ten (10) p.m. to seven (7) a.m., so as to mitigate the impact of adjoining properties zoned or used for residential purposes. The measurement of noise levels shall be taken at the location of the shared property line.
20. The exterior lighting of the parking area shall be kept at an intensity of between one (1) and two (2) foot candles, so as to provide adequate lighting for patrons while not disturbing surrounding residential or commercial areas. Light sources shall be screened from adjacent properties and from the sky.
21. The sale of alcoholic beverages for consumption outside or off the premises shall be prohibited; except, that this provision shall not apply to bona fide restaurants with approved outdoor or sidewalk dining, or to a bona fide restaurant with an approved CUP and an approved license with the Department of ABC for on-sale consumption.
22. Adequate security measures shall be provided as specified by the Montebello Police Department ("Police Department"), including, but not limited to, retaining

trained staff and security personnel, and providing security devices such as surveillance or burglar alarm systems.

23. As a bona fide restaurant, shall possess a supply of food and goods adequate to make substantial food sales and comply with Section 23038 of the Business and Professions Code. All food must be maintained in a sanitary condition and comply with all Health Department regulations. Failure to serve food (for any reason) shall result in the automatic suspension of all alcoholic beverage sales that are served for on-site consumption until food sales are resumed.
24. The sorting of empty bottles and other recyclable products shall be limited to the hours between 8:00 a.m. to 9:00 p.m. daily.
25. No signs shall be installed on the site until a sign permit has been approved by the Planning Department and Building & Safety Division in conformance with the provisions set forth in Chapter 17.62 ("Signs") of the MMC.
26. As stated in Section 9.04.010 ("Drinking in Public") of the MMC, no person shall drink any intoxicating liquor in or upon any public street or public place within the City. Signs shall be posted on the premises both inside and outside specifically citing "Section 9.04.010 - Drinking in Public" of the MMC.
27. Premises shall be kept clean and the Applicant, Operator, and/or Management of the establishment shall insure that no trash or litter originating from the site is deposited onto neighboring properties or onto the public right-of-way.
28. The Applicant, Operator and/or Management of the establishment shall take the necessary steps to assure the orderly conduct of employees, patrons and visitors on the premises.
29. The Applicant/Operator/Management of the establishment shall maintain all required State and/or local permits and/or licenses for the sale of alcoholic beverages in good standing.
30. No person shall sell alcoholic beverages for on-site consumption if there has been any lapse or breach in good standing of any one or more of the permits and/or licenses required for such sale.
31. In addition to the conditions enumerated above, any other condition may be imposed by City staff.

32. No alcoholic beverages shall be served in any disposable container such as disposable plastic or paper cups.
33. No outside alcoholic beverages shall be brought into the establishment, Project Site, or premises for personal use or consumption.
34. Any outstanding violations of the MMC shall be remedied prior to the issuance of a Certificate of Occupancy or commencement of alcohol sales, as applicable. The Applicant, Operator, Site Owner, and/or Management shall be responsible for remedying outstanding Code Enforcement issues. When corrective action requires the issuance of a building permit, the building permit must be issued within 12 months of the effective date of this approval. Corrective action that does not require a building permit shall be remedied within one month of the effective date of this approval. The Director may grant an extension to these time frames, but such extensions shall not extend more than one (1) year from the date of this approval.
35. Exterior signage and window signs advertising brands of alcoholic beverages or other signage advertising alcoholic beverages shall not be visible from public right-of-way.
36. All windows of the facility shall be treated with anti-graffiti film. It is the responsibility of the Applicant, Site Owner, Operator and/or Management, at their sole expense and cost, to have all graffiti on the site removed within 24 hours of its appearance or be subject to citations from the City Code Enforcement Division ("Code Enforcement").
37. All outdoor utilities, machinery, and equipment, including roof-mounted equipment, shall be completely screened from public right-of-way, in a manner that is compatible with the structure. The method of screening shall be subject to the review and approval of the Planning Department prior to the issuance of building permits.
38. The approval of the entitlement shall expire if the rights granted are not exercised within one (1) year from the conditional use permit's effective date. Exercise of right shall mean issuance of a building permit to commence construction, issuance of alcohol license from ABC, or similar activities demonstrating the intent to proceed with the project, as determined by the Director.

39. Prior to commencement of alcohol sales, the Applicant/Operator/Management shall post a notice in a conspicuous location within the building stating that the site is regulated by a CUP and the Acceptance Form, which includes the establishment's conditions of approval, is available upon request. This notice shall remain posted at all times the establishment is in operation.
40. The Applicant, Operator, Management and/or successor of the use shall bear full cost (hereinafter referred to as the "Inspection Fees") of all monitoring and inspection activities to be conducted by City staff or its designated consultant representative(s) as necessary to ensure compliance with the conditions of this Resolution.
41. This approval shall not supersede the approval of any other affected agencies. The applicant shall comply with Federal, State, and local requirements.
42. The following on-site requirements of the MMC and/or the specifications of the Fire Department:
1. Fire/Life Safety systems to comply with 2019 Edition California Fire Code.
 2. Commercial Hood Suppression systems to be inspected by a licensed fire protection contractor and inspection report submitted to Montebello Fire Department.
 3. Provide a Knox Box in approved location.
43. The following on-site requirements of the MMC and/or the specifications of the Police Department and Code Enforcement Division shall be complied with at all times:
- a. Promoter produced parties or events shall be prohibited. These events include private parties with outside promoters who profit from organizing and/or drawing attendees to the events. Any and all type of advertisements and promotions which promote events or operations in violation of this CUP and conditions of approval shall be subject to citation(s) from the Code Enforcement Division.
 - b. Fundraisers for non-profit organizations registered with the federal government shall be permitted provided that they are open to the public and fall within the conditions of this CUP.

- c. Adult entertainment of any nature is strictly prohibited. Televised and/or recorded adult entertainment is prohibited. The Police Department and regulations contained in the MMC shall determine what constitutes "adult" entertainment and where it is allowed.
- d. There shall be no bottle service provided, except for wine.
- e. Dial-A-Ride and taxicab phone numbers shall be posted in conspicuous locations throughout the establishment at all times.
- f. The availability of a variety of non-alcoholic beverages shall be made known and offered to the customers.
- g. Licensed private patrol officers or security guards may be required for any events that trigger a Temporary Use Permit pursuant to MMC Chapter 12.16 – Temporary Permits for Outdoor Activities.
- h. Should a line form outside the restaurant, the line shall be kept quiet and orderly at all times. Lines which block the entrances to any other open business or any parking space or any part of the public-right-of way are prohibited.
- i. A copy of the ABC license, business license, health permit, seller's permit, and all other required licenses shall be posted and made readily available to any licensing, code enforcement, public health, and law enforcement officer.
- j. The premises shall be subject to inspection by members of the Police Department, Fire Department, Code Enforcement, Los Angeles County Department of Public Health or, any other law enforcement officer at any time without warrant.
- k. A responsible person over the age of 21 must be on the premises at all times while the business is open. This person must possess valid identification.
- l. Staff under the age of 21 cannot serve alcohol.
- m. No gambling of any type shall be allowed on the premises.

- n. The Police Department reserves the right to review this CUP at any time if there are excessive calls for service or if the Police Department feels that the operation of the establishment is a risk to public health, safety, welfare, or morals.
 - o. The Police Department reserves the right to close the business if it appears that the continued operation would create an unsafe environment for the employees, patrons, bystanders, or emergency personnel. Examples would include, but not limited to, patrons fighting, overcrowding, unruly crowds, threats to public health and welfare, etc.
 - p. The business owner shall install, maintain, and obtain City permits for a burglary and robbery alarm system.
 - q. Doors that are not utilized for customer access shall be locked from the outside and have alarmed panic hardware.
 - r. If police or fire services are required at the location, the Applicant will be responsible for reimbursing the City for all related costs.
 - s. If Code Enforcement is required due to any code violations and/or violations of the conditions of this CUP, the applicant will be responsible to reimburse the City for all inspections and costs.
 - t. An approved Emergency Access Plan shall be provided, subject to review and approval of the Police and Fire Departments prior to issuance of the Certificate of Occupancy or commencement of alcohol sales, as applicable.
 - u. A signed copy of the Acceptance Form shall be kept at the business and presented to any law enforcement officer on demand.
 - v. Any violation of the conditions of this permit may cause the revocation of the subject CUP.
44. The following on-site requirements of the MMC and/or the specifications of the Building Division shall be complied with at all times:

- a. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- b. Plans prepared in compliance with the current Building Code shall be submitted to the Building Division for review prior permit issuance.
- c. Fees shall be paid to the County of Los Angeles Sanitation District prior to the issuance of the building permit.
- d. The building shall be addressed as 516 W. Whittier Blvd., and an application to assign unit numbers for each restaurant retailer shall be filed with the City prior to plan check submittal.
- e. Alterations and changes of use or occupancy in all buildings and structures shall comply with the provisions for new buildings and structures except as otherwise provided in the California Existing Building Code in effect.
- f. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- g. An existing building of Type VB construction without fire-sprinklers used for a restaurant of A-2 Group Occupancy exceeding floor area of 6,000 SF shall not be permitted per Table 506.2 of the Building Code.
- h. Fire-resistance rating requirements for northerly exterior walls based on fire separation distance of 5 to 10 feet measured to the centerline of the rear alley shall comply with Table 602 of the Building Code.
- i. Maximum area of northerly exterior wall openings and degree of open protection based on fire separation distance of 5 to 10 feet measured to the centerline of the rear alley shall comply with Table 705.8 of the Building Code.
- j. An occupant load analysis shall be performed based on Chapter 10 of the Building Code using appropriate occupant load factors to determine the loads in various areas of assembly such as the indoor/outdoor dining areas, the bar, and the standing spaces around the stage.
- k. All State of California disability access regulations for accessibility shall be complied with.

- l. Summary of Accessibility Upgrades for Commercial Projects shall be completed, and the completed form shall be copied on the plans. The form can be found at the following link :
<https://www.dropbox.com/s/4xkjyn5fhggpotk/Accessibility%20Upgrade%20Summary%20Form.pdf?dl=0>
- m. Where a circulation path directly connects a performance area to an assembly seating area, an accessible route shall directly connect the assembly seating area with the performance area per Section 11B-206.2.6 of the Building Code.
- n. A mechanical design meeting the requirements in the California Mechanical Code for Minimum Ventilation Rates per Table 402.1 and Minimum Exhaust Rates per Table 403.7 shall be provided.
- o. Separate application and plan review is required for Mechanical plans.
- p. A design for grease trap(s) or interceptor(s) shall be provided and incorporated into the plumbing drawings.
- q. Separate application and plan review is required for Plumbing plans.
- r. Plumbing fixtures shall be provided as required by Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
- s. The design and construction of proposed anchorage into or modification to any exterior walls of the existing Unreinforced Masonry building shall be prepared by an architect, civil engineer or structural engineer.
- t. The design and construction of proposed anchorage of new mechanical equipment on the existing roof trusses or installation of hard-lid ceiling supported by bearing interior partitions shall be prepared by an architect, civil engineer or structural engineer.
- u. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- v. Approval is required from the Los Angeles County Health Department for restaurants.
- w. Separate application and plan review is required for Electrical plans.
- x. Project shall comply with the CalGreen Non-Residential mandatory requirements.

- y. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicates this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- z. Separate permits are required for Fire Sprinklers.

45. Additionally, the following Fire Department specifications and comments shall be complied with at all times as well:

- a. Businesses with cooking operations which produce grease laden vapors will require a commercial hood/ fire protection system which is UL-300 compliant. The installation will meet 2019 Edition California Fire Code and NFPA Standards.
- b. Class K fire extinguishers are required in the kitchen area.
- c. Illuminated exit signs above exit doors with emergency lighting capability are required.

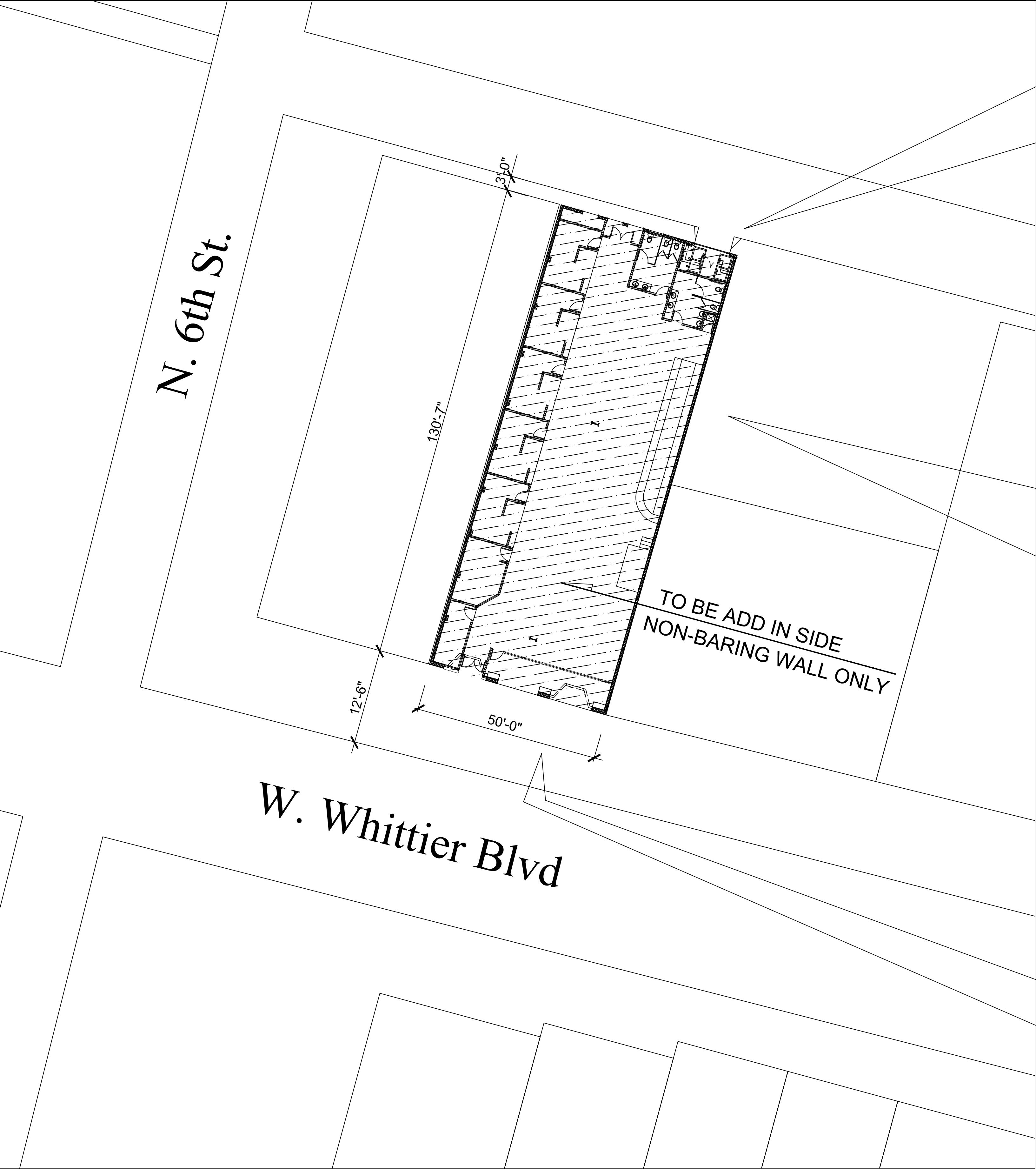
PASSED AND ADOPTED this 4th day of March, 2025, by the Planning Commission.

Commissioner Cuevas: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
 Commissioner Morales: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
 Commissioner Lomeli: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
 Chair Medina: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN

 Armando Medina, Chair

ATTEST:

 Joseph A. Palombi, Director
 Planning & Community Development Department



SITE PLAN

SCALE: 1:200



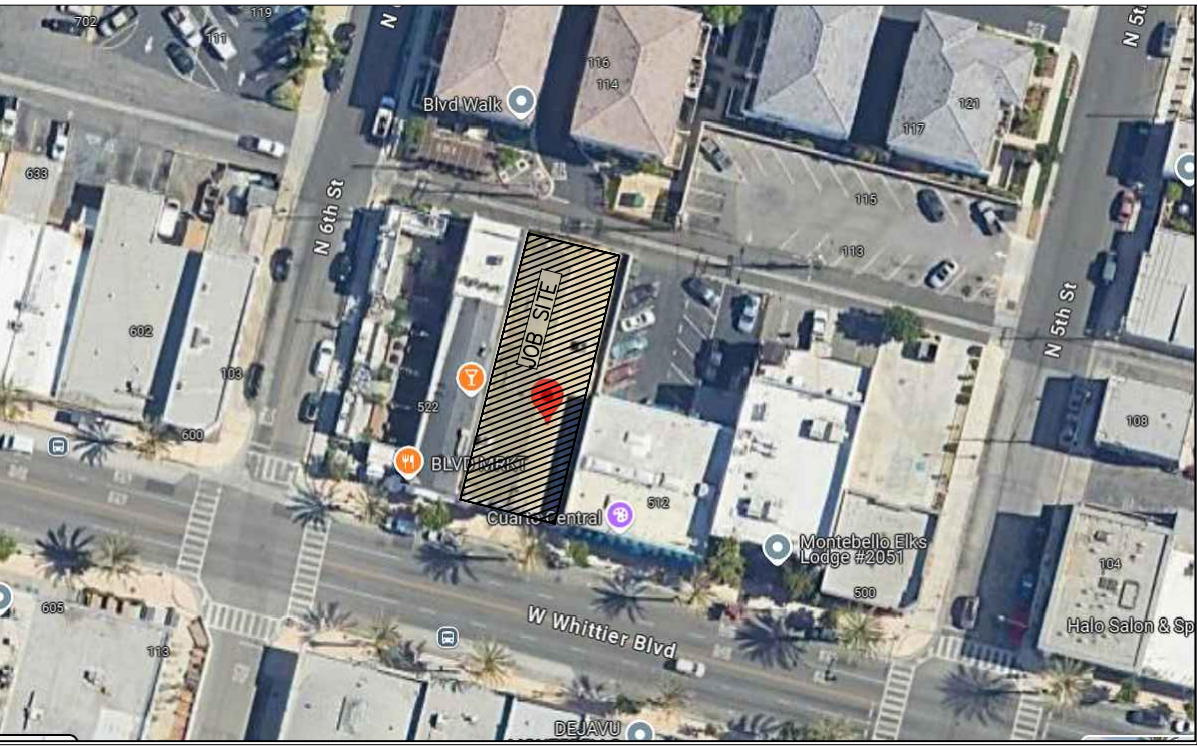
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



PROJECT LOCATION
VICINITY MAP N.T.S.



PROPERTY ADDRESS:

516 W. WHITTIER BLVD
MONTEBELLO, CA 90640

OWNER

US PAN FAMILY LLC.
953 N. HUNTER HILL DR.
WALNUT, CA 91789
TEL: (626)-210-6888

JONG CHEN ENGINEERING

Specializes in Civil Design
9646 GARVEY AVE. Ste 206
S. EL MONTE, CA 91733
TEL: (626)-529-1563

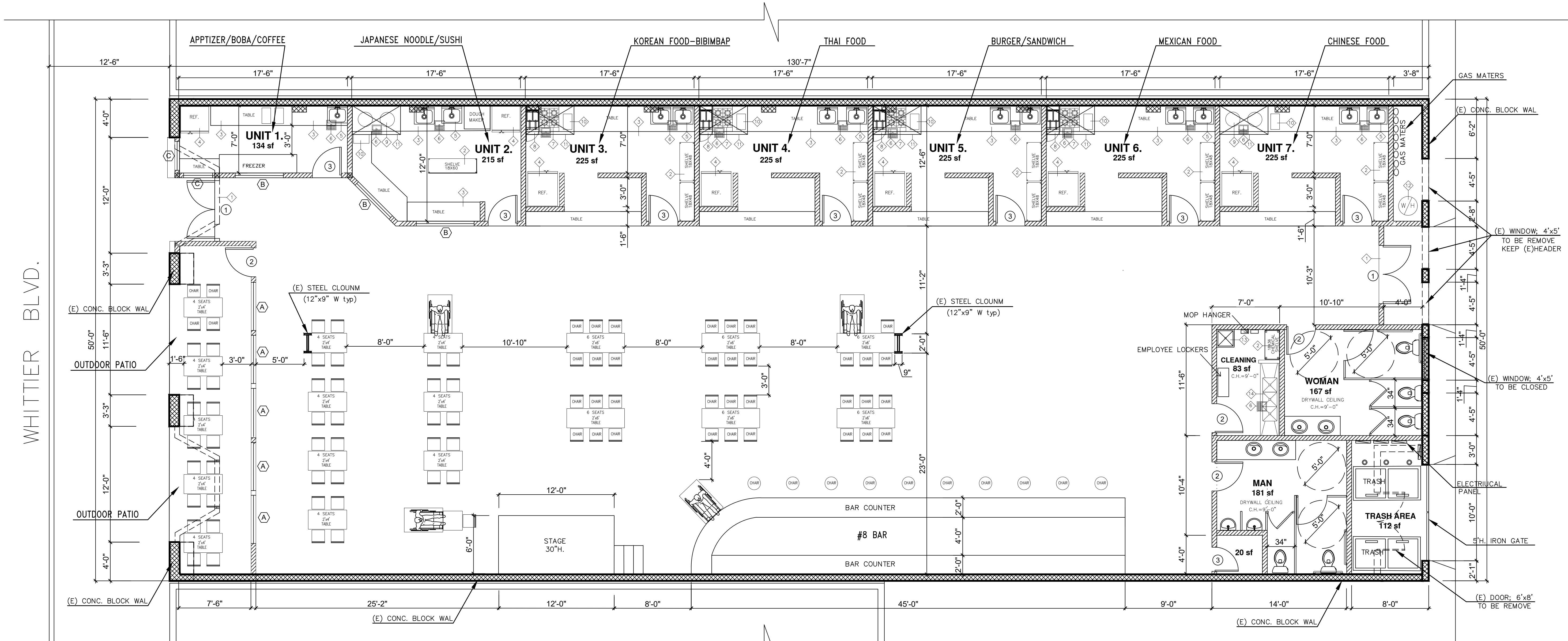
SCOPE OF WORK:

- TO ADDITION PARTITION WALL INTERIOR (NONE BEARING) OF THIS (E) BUILDING
THE BUILDING SIZE: 130' L.x50' W. x16' H.
= 6500 sqft
- FORMATION;
1. 7 UNIT MAKE ROOM
 2. 2 RESTROOM
 3. REMOVE (E) 1-DOOR TO TRASH AREA (KEEP EXISTING HEADER)
 4. REMOVE (E) 3-WINDOW TO BE OPEN (KEEP EXISTING HEADER)

SHEET INDEX:

- A-1.0 SITE PLAN
A-2.0 FLOOR PLAN
A-3.0 CEILING/ LIGHTING PLAN
A-4.0 FRAMING PLAN/ SECTION A-A AND DETAILS

REVISIONS	BY
DESIGNER	JONG CHEN ENGINEERING Specializes in Civil Design 9646 GARVEY AVE. Ste 206 S. EL MONTE, CA 91733 (626)529-1563
SHEET TITLE	SITE PLAN
PROJECT	516 W. WHITTIER BLVD MONTEBELLO, CA 90640
Date	09/08/2024
Scale	1:200
Drawn	HB
Job	24-0908
Sheet	A-1.0
Of	Sheets



FLOOR PLAN

SCALE: 3/16"= 1'-0"



PROPOSED EQUIPMENT SCHEDULE										
NO	QTY.	DESCRIPTION	ELECTRICAL				PLUMBING			
			VOLT	PH	KW	AMP	HP	CW	HW	W GAS 1000 BTU
1	2	AIR CURTAIN, "MARS" 72INCH WITH A MINIMUM 1600 FEET PER MINUTE(AS MEASURED 6 FEET BELOW THE AIR CURTAIN), NSF	115	1		4.3	1/2			
2	11	CHROME WIRE SHELVING, "KLINGER'S TRADING INC" MODEL #GR-1448, NSF APPROVED.								
3	8	PREP. TABLE, "TURBO AIR", MODEL# MST-72., 72x30x30								
4	7	FREZ. 48" UNDERCOUNTER, "BEVERAGE-AIR", MODEL# UCR48A, NSF APPROVED, SELF-CONTAIN	115	1		15				
5	7	PREP. SINK W/ SPLASH GUARD, "ADVANCE TABCO", MODEL#FE-1-1824-24RorL-X S/S, NSF APPROVED.					1/2"	1/2"	FS.	
6	7	FLOOR SINK							2"	
7	4	36" RANGE W/WIDE OVENS, "AMERICAN RANGE", MODEL#AR-6, NSF APPROVED, SELF-CONTAIN								32,000
8	4	AMERICAN RANGE AF35/50 DEEP FRYER								120,000
9	4	WORK TABLE W/(2) ELECTRIC CREPE MACHINES, "SODIR" MODEL# EQUIPEX 350E, NSF APPROVED.	208	1	3.5KW	15				
10	6	AVANTCO AG24MG 24" COUNTERTOP GAS GRIDDLE								60,000
11	6	HOOD, CAPTIVE AIR (NSF) 6'x4'								
12	1	WATER HEATER, A.O.SMITH WATER HEATERS, MODEL#DEN-52-110, 50 GAL. NSF APPROVED.	240	3	12000	50				
13	1	MOP SINK, "EAGLE", SERVICE & MOP SINKS, MODEL#F1916, S/S UNIT, 1/2" HOT & COLD, 1-1/2" IPS BASKET TYPE WASTE DRAINS, W/ BACK FLOW DEVICE ON FAUCETS, NSF APPROVED.					1/2"	1/2"	3"	
14	1	3-COMP PREP SINK, "KLINGER'S TRADING" MODEL#EIT3C2D, NSF APPROVED.								

WAREHOUSE HOUSE REMODEL FOR ADD. INTERIOR WALL

WINDOW SCHEDULE											
NUM.	WIDTH	HEIGHT (LENGTH)	S.H.	DOUBLE CASEMENT	SLIDING	SINGLE HUNG	FIXED	MATERIAL GLAZING	QTY.	REMARK	
(A)	5'-0"	8'-0"	42"				X	VINYL/TEMPERED	5	1. ALL WINDOW SHOULD PROVIDE SCREEN, EXCEPT FIXED WINDOW 2. ALL WINDOW SHOULD PROVIDE CLEAR GLAZING	
(B)	5'-0"	5'-0"	42"		X			"	3		
(C)	3'-0"	5'-0"	42"			X		"	2		
NOTE:											

DOOR SCHEDULE													
NUM.	WIDTH	HEIGHT	THK	SWING	SINGLE/DBL	SLIDING	ROLL-UP	INT.	EXT.	FIBER GLASS	MATERIAL	QTY.	REMARK
(1)	6'-0"	7'-0"	1-3/4"	X					X	TEMPERED	WOOD	2	SOLID CORE/ GLASS
(2)	3'-0"	6'-8"	1-3/4"	X				X			WOOD	4	SOLID CORE
(3)	2'-8"	6'-8"	1-3/4"	X				X			WOOD	8	SOLID CORE
()													
NOTE: TIGHT-FITTING, SOLID CORE, 1 1/2 HR. RATED DOOR.													

ADD. FACILITIES AT RESTROOM

- WATER CLOSET---5 EA.
- SINK ----4 EA.
- URINAL -----2 EA.
- MOP SINK ----1 EA.

WALL LEGEND	
	EXISTING WALL TO REMOVE
	NEW NONBEARING WALL 2X4@16"O.C. STUD WALL
	(E) CONC. BLOCK WALL

REVISIONS

BY

DESIGNER

JONG CHEN ENGINEERING
Specializes in Civil Design
9846 GARVEY AVE. Ste 206
S. EL MONTE, CA 91733
(626)529-1563

SHEET TITLE

FLOOR PLAN

PROJECT

516 W. WHITTIER BLVD
MONTEBELLO, CA 90640

Date

09/08/2024

Scale

3/16"=1'-0"

Drawn

HB

Job

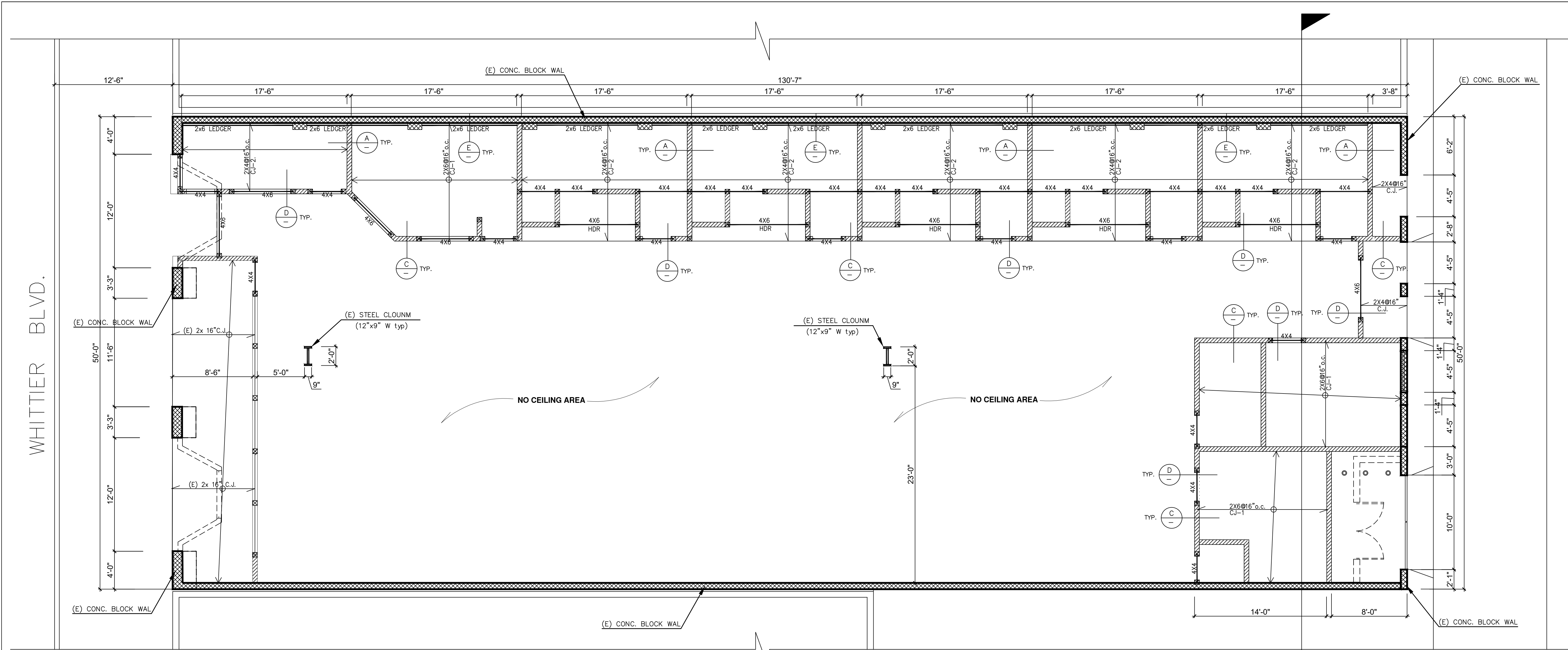
24-0908

Sheet

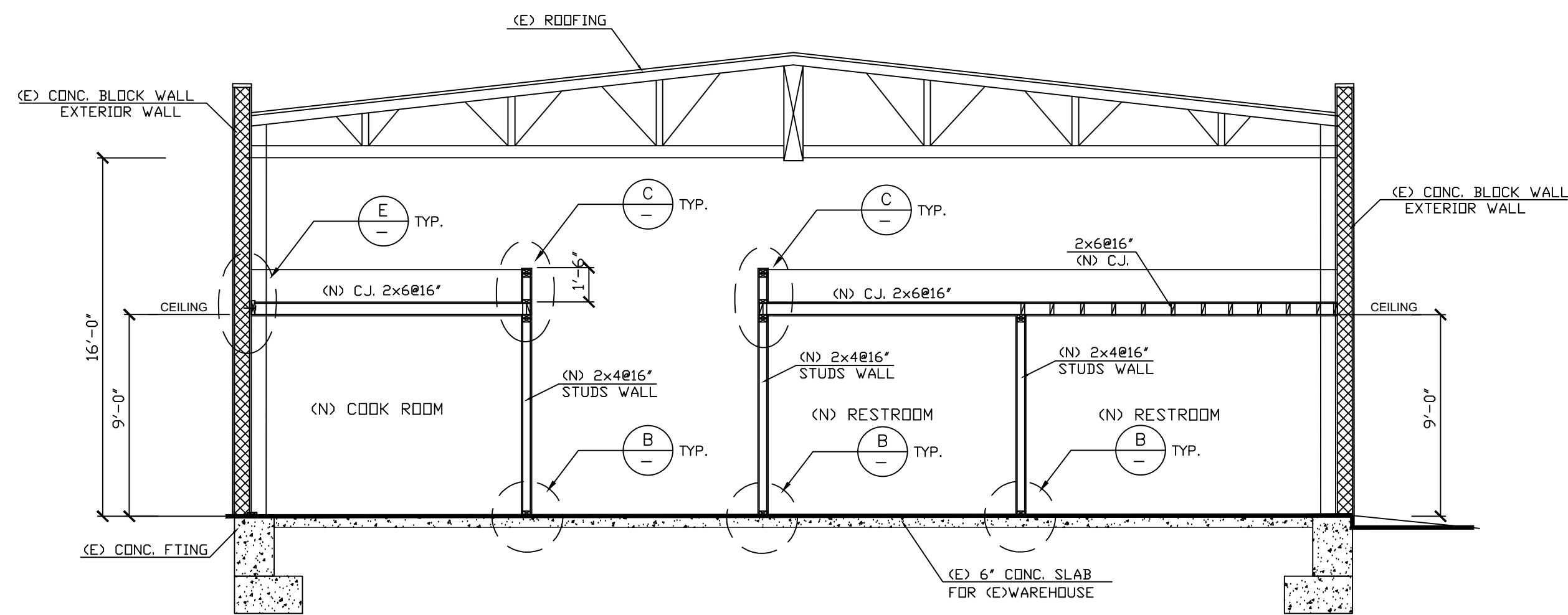
A-2.0

Of

Sheets

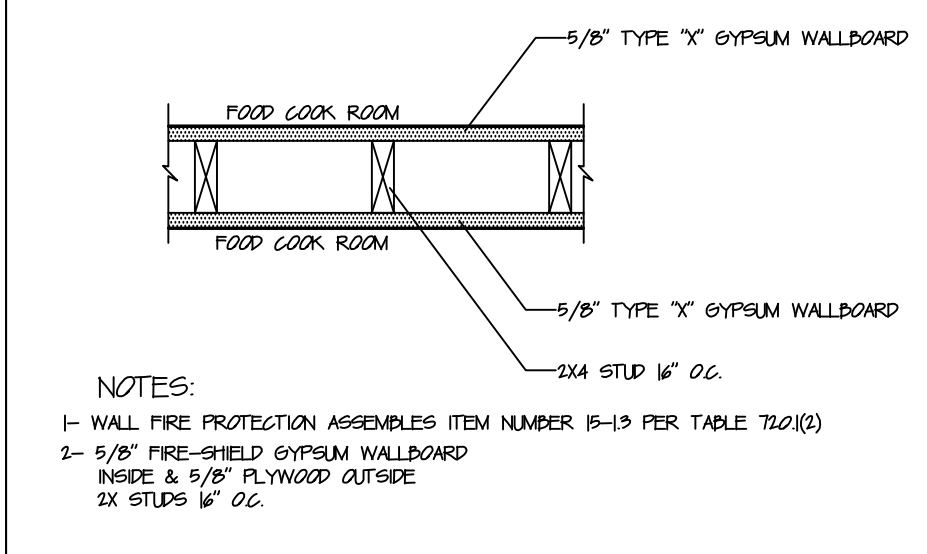
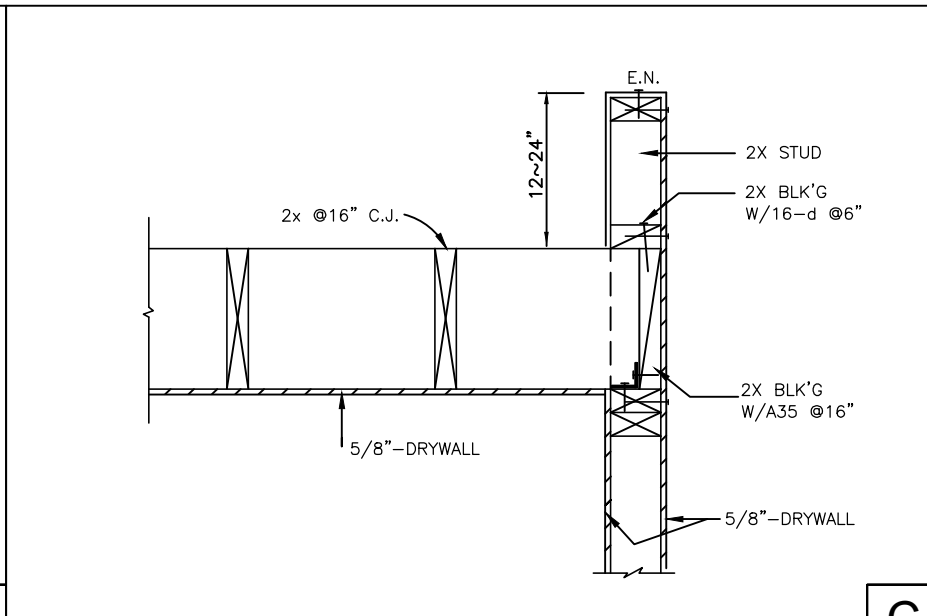
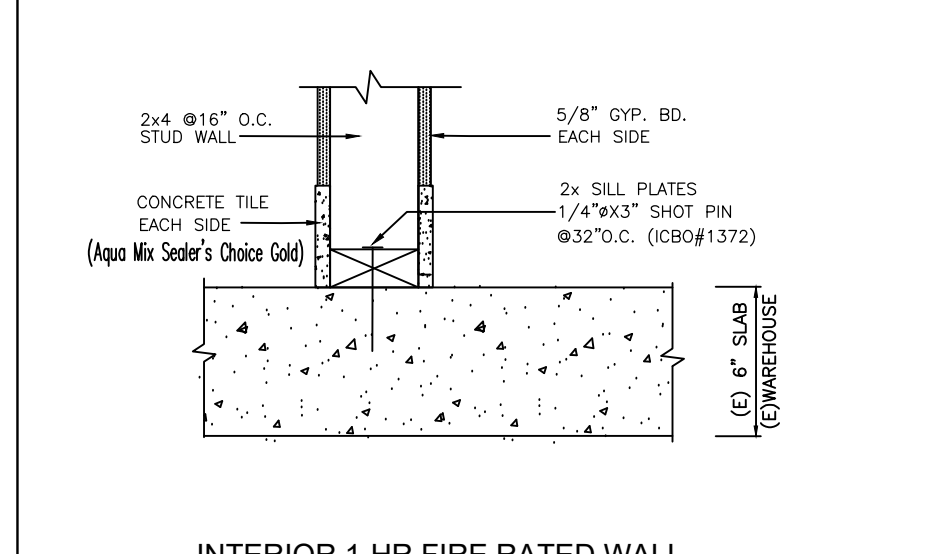
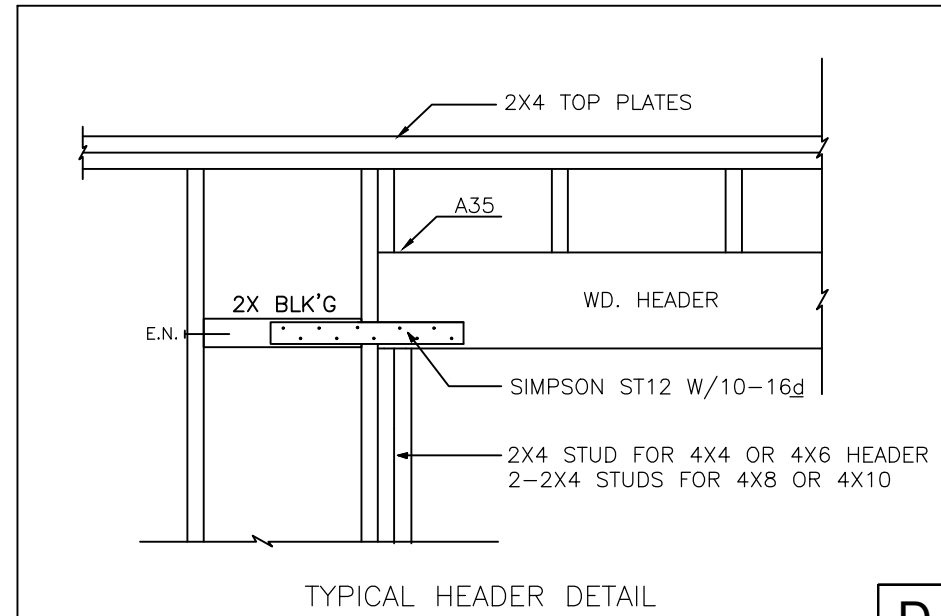
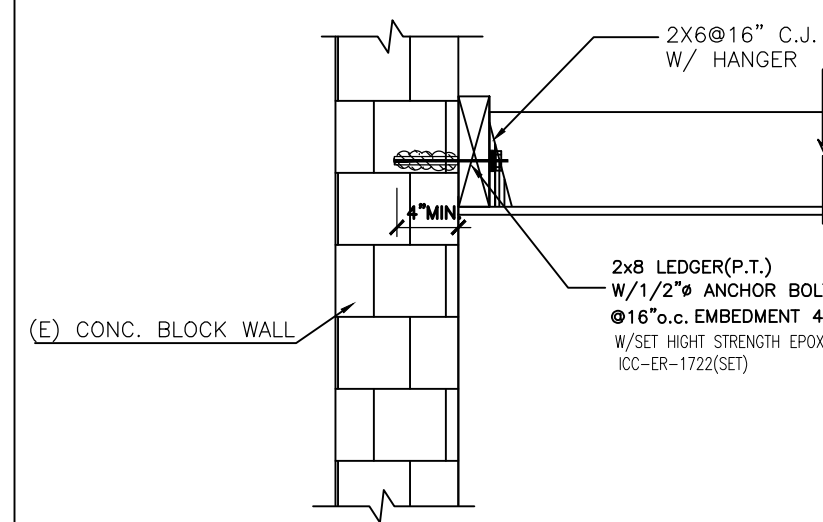


FRAMING PLAN
SCALE: 3/16"= 1'-0"

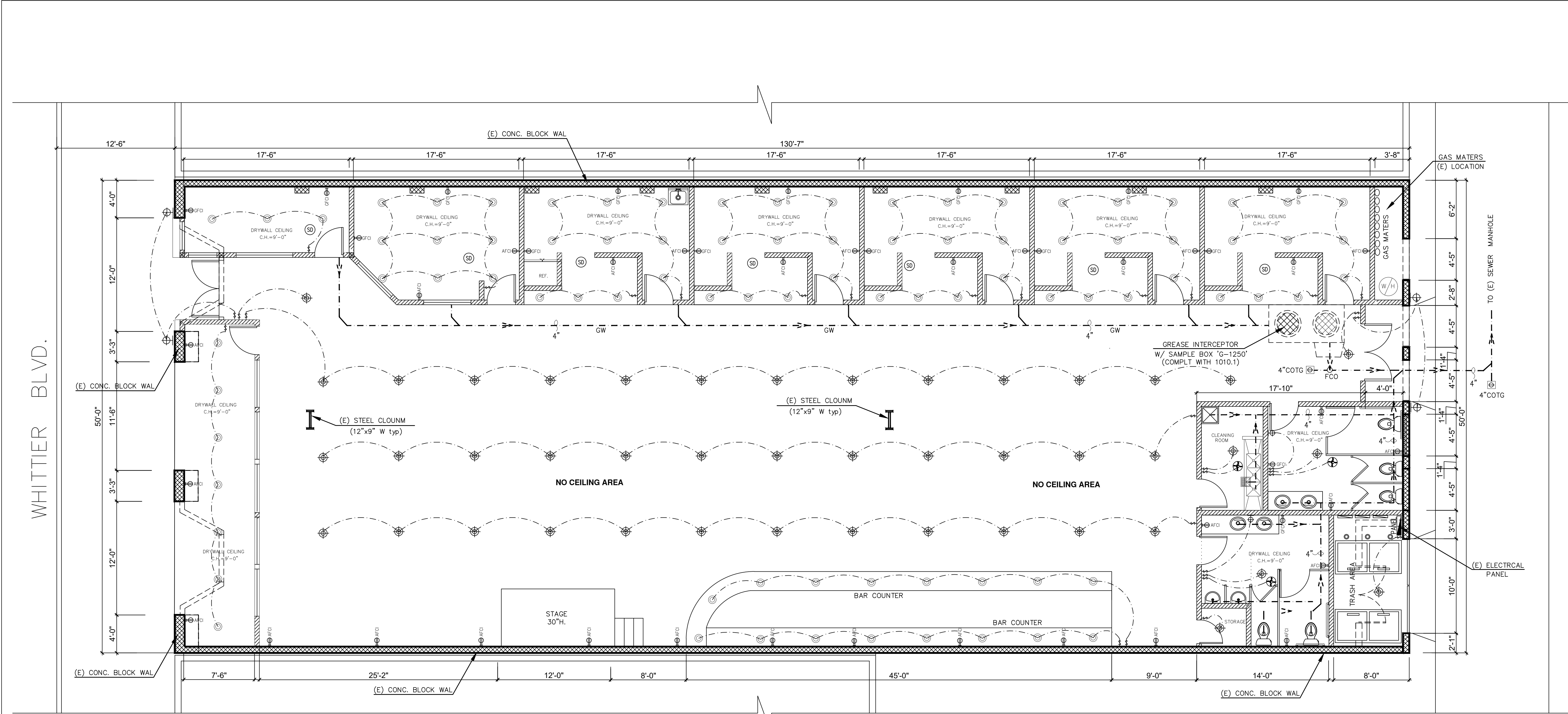


SECTION A-A
SCALE 3/16" = 1'-0"

WALL LEGEND	
	EXISTING WALL TO REMOVE
	NEW NONBEARING WALL 2X4@16\"O.C. STUD WALL
	(E) CONC. BLOCK WALL



REVISIONS	BY
DESIGNER	JONG CHEN ENGINEERING Specializes in Civil Design 9646 CARNEY AVE. Ste. 206 S. EL MONTE, CA 91733 (626)529-1563
SHEET TITLE	FRAMING PLAN SECTION AND DETAILS
PROJECT	516 W. WHITTIER BLVD MONTEBELLO, CA 90640
Date	09/08/2024
Scale	3/16"=1'-0"
Drawn	HB
Job	24-0908
Sheet	A-4.0
Of	Sheets



LIGHTING /DRAINAGE PLAN
SCALE: 3/16"= 1'-0"



MATERIAL & FINISH SCHEDULE

		FINISH														MATERIAL																			
	ROOM	FLOOR						BASE			WALL					CEILING		FLOOR		WALL			CEILING												
		CARPET	VINYL	CERAMIC TILE	CONCRETE (Aggr. Min. Sollar's Choice Cold)	DEX O TEX	MARBLE	HARDWOOD	WOOD	COVERED VINYL	TILE	MARBLE	CONCRETE 3/8" MIN.	FLAT(SMOOTH) PAINT	ENAMEL PAINT	6" H. CERAMIC TILE	MARBLE	STUCCO	FLAT(SMOOTH) PAINT	ENAMEL PAINT	5/8" GYP. BD.		CONCRETE	L.T. WT. CONC. O/PLY.	PLYWOOD	CERAMIC TILE	DEX O TEX	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE 3/8" MIN.	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
①	FOOD COOK ROOM (N)				●								●	●							●		●						●				●		
②	RESTROOM (N)			●									●	●						●	●					●		●					●		

ELECTRICAL LEGEND

- A.F.C.I. DUPLEX CONVENIENCE OUTLET @ 12" ABOVE FLOOR & 9" ABOVE COUNTER @ KITCHEN & BATH
- G.F.C.I. DUPLEX OUTLET W/GROUND FAULT CIRCUIT-INTERRUPTER
- SWITCH-LOCATED ABOVE FLOOR
- HANG LAMP ON RAFTER OR CEILING
- BRACKET MOUNTED WALL LIGHT
- 6" Ø CEILING RECESSED LIGHT
- SMOKE ALARM W/- BATTERY BACK-UP
- EXHAUST FAN SHALL BE 5 AIR CHANG PER HOUR MINIMUM CAPACITY OF 50 CFM.
- ELECTRICAL PANEL

REVISIONS

BY

DESIGNER

JONG CHEN ENGINEERING
Specializes in Civil Design
9646 GARVEY AVE. Ste 206
S. EL MONTE, CA 91733
(626)529-1563

SHEET TITLE

LIGHTING AND DRAINAGE PLAN

PROJECT

516 W. WHITTIER BLVD
MONTEBELLO, CA 90640

Date

09/08/2024

Scale

3/16"=1'-0"

Drawn

HB

Job

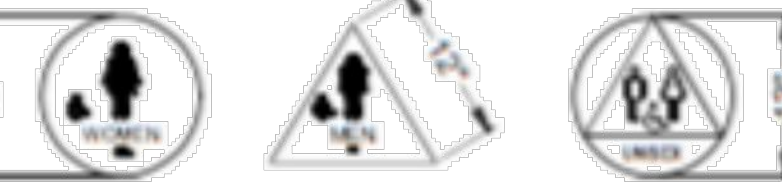
24-0908

Sheet

A-3.0

Of

Sheets

[illegible]

NOTE: PICTOGRAMS AND/OR LETTERING ARE NOT REQUIRED ON DOOR-MOUNTED SIGNAGE.



NOTE:
PROVIDE PRIVACY DOOR LOCK WHEN IT IS A PRIVATE
TOILET OR FOR UNisex USE.

GRAB BARS: SEE TYPICAL ACCESSIBILITY NOTES SHEET.



- TURNSTILE



- THRESHOLDS/LEVEL CHANGES SC



- #### **B** MAXIMUM FORWARD REACH OVER AN OBSTRUCT



- ## RESEARCH REQUIREMENTS



- DODDER/CLETHRACE



- 



DESIGNER

SHEET TITLE

PROJECT

Date	10/08/2024
Scale	3/16"=1'-0"
Drawn	HB
Job	24-0908
Sheet	A-5.0
Of	Sheet

JONG CHEN ENGINEERING		Project: Warehouse Remodel	JOB 09.09.2024
9646 GARVEY AVE. STE 206	Tel:626-529-1563	Address: 516 W. Whittier Ave.	SHT
EL MONTE, CA 91733	Fax:626-529-1563	Montebello, CA 90640	DES HB
		2022 CBC	DATE 9/12/24
STRUCTURAL CALCULATIONS AT 516 W. Whittier Ave. Montebello, CA 90640 Sep. 12th 2024			

JONG CHEN ENGINEERING		Project:	Warehouse Remodel	JOB	09.09.2024	
9646 GARVEY AVE. STE 206		Tel:626-529-1563				
EL MONTE, CA 91733		Fax:626-529-1563	Address:	516 W. Whittier Ave.	SHT	U-1
			Montebello, CA 90640	DES	HB	
			2022 CBC		DATE	9/12/24

Loading Condition:(psf)

Slope Roof		Floor	
Roofing	6		
2x6 @ 16"	1.5		
1/2" Stru. I	1.5		
Sloping	0.5		
misc.	0.5		
	10		
Ceiling			
2x6 @ 16"	1.5		
5/8" gyp. Board	3		
misc.	1		
Mech. Elec.	1.5		
	7		
<u>Total Dead load</u>	17		
<u>Live Loads</u>	20		
	37		

Lr =LoR1R2

R1= 1 For At < 200 s.f.

 1.2-0.001At for 200<At<600s.f.

 0.6 At > 600 s.f.

R2= 1 for F ≤4

 1.2-0.05F for 4<F<12

 0.6 for F> 12

$$L=L_o \left(0.25 + \frac{15}{\sqrt{K_{LL} A_T}} \right)$$

Exterior walls:

Interior walls

2x6 studs w/stucco &ply one side

2x4 studs w/drywalls both sides

17 psf

8 psf

JONG CHEN ENGINEERING		Project:	Remodel	JOB	09.09.2024
9646 GARVEY AVE. STE 206 Tel:626-529-1563		Address: 516 W. Whittier Ave.		SHT	V-1
EL MONTE, CA 91733 Fax:626-529-1563		Montebello, CA 90640		DES	HB
2022 CBC			DATE	9/12/24	

Vertical Design:

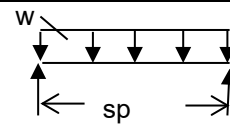
All wood beam, joist, roof rafter, column and so on will use EnerCalc. To check.
All vertical design have been shown on Enercal output.

Roof Framing

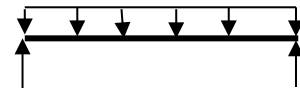
UNIFORM LOAD

Member	Span (ft)	Wd.l (plf)	Wl.l (plf)	Wt (plf)	Member size
--------	--------------	---------------	---------------	-------------	-------------

CJ-1	14	9.31	13.3	22.61	Use 2x6@16" No.2
	Wd= 7x1.33=		9.3		
	Wl = 10x1.33=		13.3		



HDR	8	42.0	120	162.0	Use: 4x6 No.1
	Wd= 7x12/2=		42		
	Wl = 20x12/2=		120		



Title Block Line 1
You can change this area
using the "Settings" menu item
and then using the "Printing &
Title Block" selection.
Title Block Line 6

Project Title:
Engineer:
Project ID:
Project Descr:

V-2

Printed: 12 SEP 2024, 10:40AM

Multiple Simple Beam

File: 516.ec6
Software copyright ENERCALC, INC. 1983-2020, Build:12.20.8.24
ZYNI Engineering

Description : 516 job Ceiling Joist

Wood Beam Design : Ceiling Joist

Calculations per NDS 2018, IBC 2022, CBC 2022, ASCE 7-16

BEAM Size : **2x6, Sawn, Braced @ Mid Span**

Using Allowable Stress Design with IBC 2022 Load Combinations, Major Axis Bending

Wood Species : Douglas Fir - Larch

Wood Grade : No.2

Fb - Tension	900.0 psi	Fc - Prll	1,350.0 psi	Fv	180.0 psi	Ebend- xx	1,600.0 ksi	Density	31.210 pcf
Fb - Compr	900.0 psi	Fc - Perp	625.0 psi	Ft	575.0 psi	Eminbend - xx	580.0 ksi		

Applied Loads

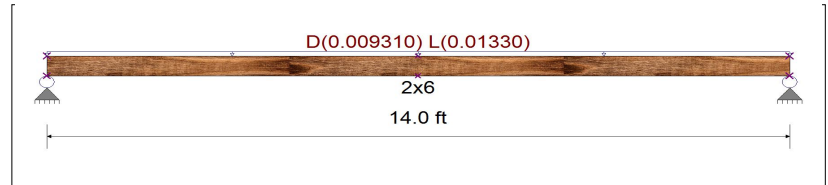
Unif Load: D = 0.0070, L = 0.010 k/ft, Trib= 1.330 ft

Design Summary

Max fb/Fb Ratio = **0.718** : 1
fb : Actual : 878.99 psi at 7.000 ft in Span # 1
Fb : Allowable : 1,224.23 psi
Load Comb : +D+L+H

Max fv/FvRatio = **0.150** : 1
fv : Actual : 27.05 psi at 13.580 ft in Span # 1
Fv : Allowable : 180.00 psi
Load Comb : +D+L+H

Max Reactions (k)	D	L	Lr	S	W	E	H
Left Support	0.07	0.09					
Right Support	0.07	0.09					



Max Deflections

Transient Downward	0.347 in	Total Downward	0.590 in
Ratio	483	Ratio	284
LC: L Only		LC: +D+L+H	
Transient Upward	0.000 in	Total Upward	0.000 in
Ratio	9999	Ratio	9999
LC:		LC:	

Wood Beam Design : 8' w. Header

Calculations per NDS 2018, IBC 2022, CBC 2022, ASCE 7-16

BEAM Size : **4x6, Sawn, Fully Unbraced**

Using Allowable Stress Design with IBC 2022 Load Combinations, Major Axis Bending

Wood Species : Douglas Fir - Larch

Wood Grade : No.1

Fb - Tension	1000 psi	Fc - Prll	1500 psi	Fv	180 psi	Ebend- xx	1700 ksi	Density	31.21 pcf
Fb - Compr	1000 psi	Fc - Perp	625 psi	Ft	675 psi	Eminbend - xx	620 ksi		

Applied Loads

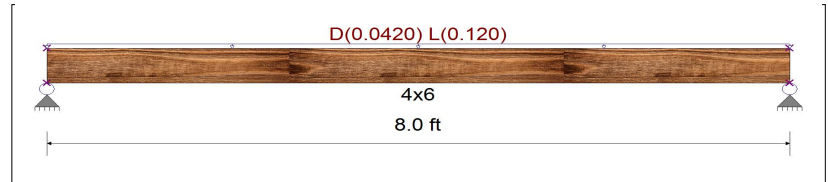
Unif Load: D = 0.0070, L = 0.020 k/ft, Trib= 6.0 ft

Design Summary

Max fb/Fb Ratio = **0.683** : 1
fb : Actual : 881.34 psi at 4.000 ft in Span # 1
Fb : Allowable : 1,289.72 psi
Load Comb : +D+L+H

Max fv/FvRatio = **0.249** : 1
fv : Actual : 44.77 psi at 0.000 ft in Span # 1
Fv : Allowable : 180.00 psi
Load Comb : +D+L+H

Max Reactions (k)	D	L	Lr	S	W	E	H
Left Support	0.17	0.48					
Right Support	0.17	0.48					



Max Deflections

Transient Downward	0.135 in	Total Downward	0.182 in
Ratio	712	Ratio	527
LC: L Only		LC: +D+L+H	
Transient Upward	0.000 in	Total Upward	0.000 in
Ratio	9999	Ratio	9999
LC:		LC:	

Notice of CEQA Exemption

To:

County of Los Angeles
Registrar-Recorder/County Clerk
12400 Imperial Highway
Norwalk, CA 90650

From:

City of Montebello
Planning & Community Development Department
1600 W. Beverly Blvd.
Montebello, CA 90640

Lead Agency: City of Montebello Planning and Community Development Department

Project Title: Conditional Use Permit

Project Location: 516 W. Whittier Boulevard, Montebello, CA 90640

Case Number(s): PC-2024-0015-CUP/ENV No. 12-24-CE

Description of Nature, Purpose, and Beneficiaries of Project: A Conditional Use Permit (“CUP”) Case No. PC-2024-0015-CUP allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant (Montebello Public Market) for the property located at 516 W. Whittier Boulevard (collectively “the property”).

Name of the Public Agency Approving the Project: City of Montebello

Name of Person or Agency Carrying Out the Project: Yao Pan, Montebello Public Market (“Property Owner”)

Exempt Status (*check one*)

- ☐ Ministerial (Sec. 21080(b)(1); 15268(b)(3))
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: Class 1- CEQA Guidelines Section 15301 (Existing Facilities)
☐ Statutory Exemptions. State code number:

Justification for Project Exemption:

The Project is Categorically Exempt per CEQA Guidelines §15301 - Class 1 (Existing Facilities. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion or existing or former use. There is no additional building footprint being added.

Lead Agency Contact Person: Joseph A. Palombi, Director of Planning & Community Development

Area Code/Telephone/Extension: (323) 887-1200

If filed by applicant, attach certified document issued by the Planning and Community Development Department stating that the Department has found the project to be exempt.

Signature: _____ **Date:** _____ **Title:** _____

☒ Signed by Lead Agency

☐ Signed by Applicant



ITEM # 3

**CITY OF MONTEBELLO
PLANNING COMMISSION AGENDA STAFF REPORT**

TO: Members of the Planning Commission

FROM: Joseph Palombi, Planning & Community Development Director

BY: Grace Hayashi, Assistant Planner

SUBJECT: **ZONE VARIANCE (“ZV”) (CASE NO. PC-2024-0016-ZV) TO ALLOW DEVIATION FROM THE R-3 ZONING PARKING STANDARDS OUTLINED IN MONTEBELLO MUNICIPAL CODE SECTION 17.10.020 (RESIDENTIAL DEVELOPMENT STANDARDS TABLE). SPECIFICALLY, TO DEVIATE FROM THE MINIMUM PARKING SPACES REQUIRED PER DWELLING UNIT LOCATED AT 224 S. GREENWOOD AVENUE.**

DATE: March 4, 2025

RECOMMENDATION(S):

The Planning Commission will conduct a public hearing to consider the following action:

1. ADOPT Resolution No. 04-25 approving Zone Variance (ZV) Case No. PC-2024-0016-ZV), subject to certain findings and conditions to allow deviation from the R-3 zoning parking standards outlined in Montebello Municipal Code Section 17.10.020 (Residential Development Standards Table). Specifically, to deviate from the minimum parking spaces required per dwelling unit located at 224 S. Greenwood Avenue (“Project Site”); and
2. DETERMINE AND FIND that the project (ENV No. 13-24-CE) is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 related to “Existing Facilities” a Class 1 Categorical Exemption.

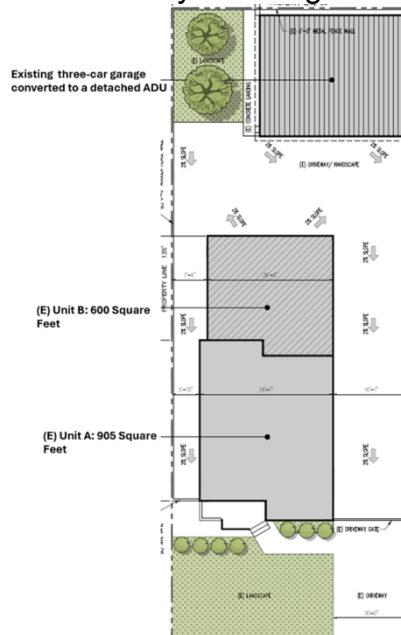
BACKGROUND:

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On December 5, 2024, staff issued a deemed complete letter to the Applicant.

Zoning: R-3 (Multi-Family Residential)

The Applicant is seeking approval to allow deviation from the R-3 zoning parking standards outlined in MMC Section 17.10.020 (Residential Development Standards Table). The existing property includes an unpermitted duplex conversion from a single-family home and an accessory dwelling unit conversion of a three-car garage. The zone variance is requested to deviate from the minimum parking spaces required per dwelling unit relating to the duplex located at 224 S. Greenwood Avenue. The Applicant received an issued permit December of 2024 for the conversion of the existing 3-car garage into an Accessory Dwelling Unit and have completed construction.



The existing property contains a single-family home that was converted into a duplex without permits. The rear of the property has a 3-car garage that was recently converted into a 750 square-foot accessory dwelling unit. For the proposed project to be approved

PLANNING COMMISSION AGENDA REPORT - MEETING OF MARCH 4, 2025

Page 3 of 7

in compliance with the City's Municipal Code, the Applicant is requesting approval of the following entitlement requests:

- Zone Variance (deviate from the R-3 zoning parking standards outlined in the MMC Section 17.10.020 – Residential Development Standards Table)

ENVIRONMENTAL:

Zone Variance (Case No. PC-2024-0016-ZV) is considered a “project” per the CEQA definition of a “project.” Pursuant to the provisions of the California Environmental Quality Act (CEQA) Section 15301, the project is considered covered by “Existing Facilities”, a Class 1 Categorical Exemption. Class 1 consists of no expansion of the existing or former use. None of the exceptions found under CEQA Guidelines Section §15300.2 apply. It would also be exempt under the commonsense exemption under CEQA Guidelines Sections 15060(c)(2) and 15061(b)(3) where the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment, and it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The proposed code deviation does not have the potential to degrade the quality of the environment or have a significant effect on the environment.

The proposed project meets all the conditions required to be classified as a “Existing Facilities”. The project will be consistent with the applicable general plan and zoning designations, policies, and regulations. The proposed minor modification occurs within city limits on a residential site of .15 acres surrounded by already developed multi-family residential uses with legal non-conforming parking standards.

ANALYSIS:

Project Site

The Project Site is zoned for Multi-Family Residential (R-3) and is designated Neighborhood under the Land Use Element of the General Plan. Land uses surrounding the Project Site are primarily Residential uses. The surrounding zoning and land uses are listed as follows:

Direction	Zone	Land Use
North	Multi-Family Residential (R-3)	Neighborhood
South	Multi-Family Residential (R-3)	Neighborhood
East	Multi-Family Residential (R-3)	Neighborhood
West	Multi-Family Residential (R-3)	Neighborhood

The lot size of the parcel, located at 224 S. Greenwood Avenue, is approximately 6,739 square feet (.15 acres) in the R-3 zone with a three-car garage. The parcel is zoned as

a multi-family residential property abutting other multi-family residences to the North, South, East, and West. A Variance is requested to allow deviation from the R-3 zoning parking standards outlined in Montebello Municipal Code Section 17.10.020 (Residential Development Standards Table). Specifically, to deviate from the minimum of two required parking spaces per unit.

ZONE VARIANCE

Pursuant to Section 17.72.020 of the MMC, the Planning Commission shall have the authority, subject to the procedures set forth herein to grant variances from any provisions of this code relating to the use and development of land when practical difficulties, unnecessary hardships, or results inconsistent with the general intent and purpose of this code, occurs by reason of the strict and literal interpretation of this code.

This project is proposing to deviate from R-3 development standards pursuant to Section 17.10.020 to allow for a deviation of the parking requirements of two-enclosed parking spots per one dwelling unit. The property has illegally split their single-family home into a duplex. Attachment C. of the Staff Report contains the architectural plans the Applicant will be subject to administrative plan check if approved. The variance will allow the Applicant to deviate from the two enclosed parking spots per dwelling unit requirement. Pursuant to Section 17.72.060 of the MMC due to special or unusual circumstances, the strict application of the provisions of the code would result in practical difficulties or unnecessary hardships or would deprive such property of privileges enjoyed by other properties in the vicinity and under identical zoning classification.

Pursuant to Section 17.10.020 Development Standards – Generally of the MMC, all minimum parking standards shall conform to the development standards in the R-3 zone. This chapter states that the minimum parking in an R-3 zone is two enclosed spaces per dwelling unit plus one visitor space per three dwelling units. The Applicant is proposing to deviate from the required parking requirements by providing three-enclosed parking spaces for the conversion of a single-family home into a duplex. The Applicant has provided a list in Attachment D. of the Staff Report including surrounding properties with a duplex that do not conform to the current parking standards pursuant to Chapter 17.10.020 of the MMC. Pursuant to Chapter 17.72 of the MMC, the sole purpose of a variance shall be to ensure that no property, because of special circumstances applicable to it, shall be deprived of privileges commonly enjoyed by other properties in the same vicinity and zone. No variance shall be granted which would have the same effect of granting a special privilege not shared by other properties in the same vicinity and zone.

Pursuant to Section 17.72.060 of the MMC, before any zone variance shall be granted, all of the following findings must be made:

A. Describe the special or unusual circumstances applicable to the subject property, which do not generally apply to other properties in the vicinity and with the same zoning designation.

The property located at 224 S. Greenwood Avenue is a 6,739 square foot property located within the R-3 zone. The property by right is allowed one dwelling unit per 3,000 square feet per the R-3 Development Standards in the Montebello Municipal

Code. This permits two units by right for this property. The General Plan Designation (Neighborhood) would allow 15 units per acre as the minimum allowable units. The multifamily property is surrounded by other multifamily properties that have legal non-conforming parking based on the number of units.

B. Detail how due to the special or unusual circumstances described above, strict application of the Zoning Code would result in practical difficulties or unnecessary hardships or would deprive the property privilege enjoyed by other properties in the vicinity and with the same zoning designation.

The current property owner purchased this property in February of 2024, where the duplex was existing. The owner before that stated it was vacant for two years. It is estimated that the single-family residence has been converted into a duplex since 2022. The property can accommodate four off-street parking spaces that are not enclosed. The property owner is proposing to legalize the conversion of the single-family residence into a duplex and deviate from the four-enclosed parking spaces. The existing three enclosed parking spaces have been permitted to be converted into an ADU, allowable per the State law. Surrounding properties have a duplex and do not conform to the current parking standards for R-3 Development (two enclosed spaces per dwelling unit). These legal non-conforming properties are listed in Attachment D. of the Staff Report.

C. Explain how the Zoning Variance is necessary for the preservation of a substantial property right to allow a reasonable use of the subject property, which is possessed by other properties in the vicinity and with the same zoning designation.

The zone variance will allow the property to continue the legal non-conforming use of the duplex with the three existing enclosed parking spots. The property is located in a multi-family zone surrounded by other multi-family properties. By right, the property is allowed two units. The deviation will allow the property owner to provide one less parking space that is regardless of being converted into an Accessory Dwelling Unit.

D. Describe how the proposed Zone Variance will not cause an adverse effect on the public welfare or surrounding properties.

The Applicant has provided architectural plans that prove the duplex is both properly secure and will not pose a danger. Every structure on the site is existing and there was no additional footprint added to the home. The duplex has been existing on the property for approximately three years. If this request is approved, the Applicant will obtain the administrative permits needed. The residents at the property have been parking on the property and will continue doing so. The property has sufficient space behind the two existing units to accommodate additional uncovered parking, as the current residents have been doing so. Currently, the duplex is rented by one family with three cars, and they have been parking in the driveway. Once the accessory dwelling unit is completed, there is space for two cars behind the units for the occupants of the ADU.

E. Describe how the granting of the Zone Variance will be consistent with the general purpose and intent of the Zoning Code and will not adversely affect the General Plan.

By granting this Zone Variance, it aligns with the general purpose of the zoning regulations within the R-3 residential standards. The General Plan Land Use Designation for the project site meets the Neighborhood zone standards. Action 3.4A (Land Uses: Growth, Preservation, and Reinvestment) of the General Plan strives to create diverse neighborhoods instead of the single-housing type. By right, this multifamily zoned property is allowed two units with the conversion of the existing single-family home into a duplex. It will not adversely affect the General Plan as it supports the existing neighborhood pattern of multifamily development.

GENERAL PLAN CONSISTENCY

The General Plan Land Use designation for the Project Site is Neighborhood. The following General Plan Land Use Element goals and policies are applicable to the proposed project:

Policy/Goal	Description
Action 3.4a: Land Uses: Growth, Preservation, and Reinvestment	Create diverse neighborhoods instead of a monoculture of single-housing type. This multi-family property is converting a single-family property into a duplex.
Action 3.5c: Add New Units to Existing Subdivisions	Infilling residential neighborhoods with accessory dwelling units (ADUs) can provide affordable housing choices for singles and seniors and increase residential density without dramatically altering the established character and pattern of development. The property owner has converted their garage into an ADU, providing more housing opportunities.
Policy 5.4a: Noise	Minimize noise impacts to ensure that noise does not detract from Montebello's quality of life. The construction at the property is existing so there will be no impact on the surrounding neighbors.

The proposed project conforms to the City of Montebello General Plan Built Environment and Land Use Elements in that the property is providing additional infill housing at an existing site with a single-family home. The conversion of the single-family home to the duplex is permitted by right. The Applicant would be able to convert the garage into an Accessory Dwelling Unit by right if the additional enclosed parking spot was provided. The Applicant has gone through the plan check process for the conversion of the existing three-car garage. The state of the property is existing, but the Applicant is doing their due diligence getting the zone variance to deviate from the required parking standards.

REPORTS RECEIVED

On December 9, 2024, the application materials for Case Number PC-2024-0016-ZV were forwarded to the Building and Safety, Public Works, Parks and Recreation, Traffic, and Police Departments for review, comments, and conditions. The departments' conditions of approval that were provided are included in the resolution found under "Attachment A."

SUMMARY:

PUBLIC NOTIFICATION

Pursuant to MMC Section 17.78 (Public Hearings, Notices, and Appeals), the following noticing was performed:

- On February 20, 2025, the Public Hearing Notice was published in the Daily Journal (Whittier Daily News); and
- On February 20, 2025, the Public Hearing Notice was mailed to all property owners within a 300-foot radius from the exterior boundaries of the project site.

ATTACHMENT(S)

1. Attachment A - Resolution No. 04-25 (PC-2024-0016-ZV)
2. Attachment B - Notice of Exemption
3. Attachment C - Proposed Site Plan
4. Attachment D - Surrounding Non-Conforming Properties

**CITY OF MONTEBELLO
PLANNING COMMISSION**

RESOLUTION NO. 04-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MONTEBELLO, CALIFORNIA, APPROVING A ZONE VARIANCE (ZV) (CASE NO. PC-2024-0016-ZV) TO ALLOW DEVIATION FROM THE R-3 ZONING PARKING MINIMUM PARKING SPACE STANDARDS OUTLINED IN MONTEBELLO MUNICIPAL CODE SECTION 17.10.020 (RESIDENTIAL DEVELOPMENT STANDARDS TABLE) FOR THE PROPERTY LOCATED AT 224 S. GREENWOOD AVENUE AND FINDING THE PROJECT CATEGORIALLY EXEMPT UNDER A CALIFORNIA ENVIRONMENTAL QUALITY ACT CLASS 1 EXEMPTION FOR “EXISTING FACILITIES” (ENV NO. 13-24-CE).

WHEREAS, on June 13, 2023, a Zone Variance (“ZV”) (Case No. PC-2024-0016-ZV) application was filed by Vicken Seraydarian (“Applicant”), to allow deviation from the R-3 zoning parking standards (“Project”) outlined in Montebello Municipal Code (“MMC”) Section 17.10.020 (Residential Development Standards Table). Specifically, to deviate from the minimum parking spaces required per dwelling unit located at 224 S. Greenwood Avenue (“Project Site”) in the City of Montebello (“City”) ; and

WHEREAS, the ZV (PC-2025-0016-ZV) is considered a “project”, per the California Environmental Quality Act definition of a “project”; and

WHEREAS, the project is considered covered by the Class 1 Categorical Exemption for Existing Facilities, found under CEQA Guidelines Section 15301, which consists of no expansion of the existing or former use with no direct or reasonably foreseeable indirect physical change in the environment.

WHEREAS, the proposed zone variance does not have the potential to degrade the quality of the environment or have a significant effect on the environment; and

WHEREAS, pursuant to Section 21067 of the Public Resources Code, and Section 15367 of the State California Environmental Quality Act (“CEQA”) Guidelines (Cal. Code Regs., tit. 14, § 15000 et seq.), the City of Montebello is the lead agency for the proposed Project; and

WHEREAS, a duly noticed public hearing has been held, at which the Planning Commission received and considered staff presentations, recommendations, public

testimony, and all other matters presented at the public hearing and included in the record for this matter, and

WHEREAS, all other legal prerequisites of to the adoption of this Resolution have occurred.

WHEREAS, the Planning Commission of the City of Montebello finds, declares and resolves as follows:

SECTION 1. RECITALS. Based on staff presentations, testimony, and all other evidence presented to the Planning Commission during the noticed public hearing on this matter, the Planning Commission hereby finds and declares that the foregoing recitals are true and correct, and expressly incorporates them as substantive findings into this Resolution.

SECTION 2. FINDINGS. Pursuant to Section 17.72.060 of the City of Montebello Municipal Code (MMC), the following findings are hereby adopted as the findings of the Planning Commission:

A. Describe the special or unusual circumstances applicable to the subject property, which do not generally apply to other properties in the vicinity and with the same zoning designation.

The property located at 224 S. Greenwood Avenue is a 6,739 square foot property located within the R-3 zone. The property by right is allowed one dwelling unit per 3,000 square feet per the R-3 Development Standards in the Montebello Municipal Code. This permits two units by right for this property per the maximum density standards in Exhibit 17.10.020 of the Residential Development Standards Table. The General Plan Designation (Neighborhood) would allow 15 units per acre as the minimum allowable units. The multifamily property is surrounded by other multifamily properties that have legal non-conforming parking based on the number of units.

B. Detail how due to the special or unusual circumstances described above, strict application of the Zoning Code would result in practical difficulties or unnecessary hardships or would deprive the property privilege enjoyed by other properties in the vicinity and with the same zoning designation.

The current property owner purchased this property in February of 2024, where the duplex was existing. The owner before that stated it was vacant for two years. It is estimated that the single-family residence has been converted into a duplex since 2022. The property can accommodate four off-street parking spaces that are not enclosed. The property owner is proposing to legalize the conversion of the single-family residence into a duplex and deviate from the four-enclosed parking spaces. The existing three enclosed parking spaces have been permitted to be converted into an ADU, allowable per the State law. Surrounding properties have a duplex and do not conform to the current parking standards for R-3 Development (two enclosed spaces per dwelling unit). These legal non-conforming properties are listed in Attachment D. of the Staff Report.

C. *Explain how the Zoning Variance is necessary for the preservation of a substantial property right to allow a reasonable use of the subject property, which is possessed by other properties in the vicinity and with the same zoning designation.*

The zone variance will allow the property to continue the legal non-conforming use of the duplex with the three existing enclosed parking spots. The property is located in a multi-family zone surrounded by other multi-family properties. By right, the property is allowed two units. The deviation will allow the property owner to provide one less parking space that is regardless being converted into an Accessory Dwelling Unit.

D. *Describe how the proposed Zone Variance will not cause an adverse effect on the public welfare or surrounding properties.*

The Applicant has provided architectural plans that prove the duplex is both properly secure and will not pose a danger. Every structure on the site is existing and there was no additional footprint added to the home. The duplex has been existing on the property for approximately three years. If this request is approved, the applicant will obtain the administrative permits needed. The property has sufficient space behind the two existing units to accommodate additional uncovered parking, as the current residents have been doing so. Currently, the duplex is rented by one family with three cars, and they have been parking in the driveway. Once the accessory dwelling unit is completed, there is space for two cars behind the units for the occupants of the ADU.

E. *Describe how the granting of the Zone Variance will be consistent with the*

general purpose and intent of the Zoning Code and will not adversely affect the General Plan.

By granting this Zone Variance, it aligns with the general purpose of the zoning regulations within the R-3 residential standards. The General Plan Land Use Designation for the project site meets the Neighborhood zone standards. Action 3.4A (Land Uses: Growth, Preservation, and Reinvestment) of the General Plan strives to create diverse neighborhoods instead of the single-housing type. By right, this multifamily zoned property is allowed two units with the conversion of the existing single-family home into a duplex. It will not adversely affect the General Plan as it supports the existing neighborhood pattern of multifamily development.

SECTION 3. CEQA. The Planning Commission finds that the Zone Variance (Case No. PC-2024-0016-ZV) is considered a “project” per the CEQA definition of a “project.” Pursuant to the provisions of the California Environmental Quality Act (CEQA) Section 15301, the project is considered covered by “Existing Facilities”, a Class 1 Categorical Exemption. Class 1 consists of no expansion of the existing or former use. None of the exceptions found under CEQA Guidelines Section §15300.2 apply. It would also be exempt under the commonsense exemption under CEQA Guidelines Sections 15060(c)(2) and 15061(b)(3) where the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment, and it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The proposed code deviation does not have the potential to degrade the quality of the environment or have a significant effect on the environment.

SECTION 4. APPROVAL. The Planning Commission hereby approves ZV (Case No. PC-2024-0016-ZV) to reduce the number of required parking spaces at the Project Site to two, subject to compliance with all applicable laws and ordinances of the City as well as subject to compliance with the conditions of approval set forth in Section 5.

SECTION 5. CONDITIONS. The Planning Commission finds that the following conditions of approval are necessary and appropriate.

A. Standard Conditions

1. The Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers, and employees from any claim, action, or proceeding brought against the City, its elected and appointed officials, agents, officers, or employees arising out of, or which are related to the Applicant’s project or application (collectively referred to as “proceedings”). The

- indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities, and expenses incurred or awarded in connection with the proceedings whether incurred by the Applicant, the City and/or the parties initiating or bringing such proceedings. This indemnity provision shall include the Applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth herein. The City shall have the right to choose its own legal counsel to represent the City's interest in the proceedings.
2. Within thirty (30) days of the Planning Division transmittal of the Acceptance Form, the Applicant shall sign and return a copy of the Acceptance Form, agreeing to the conditions of approval and acknowledging that failure to comply with such conditions shall constitute grounds for potential revocation of the permit approval. Failure to return the Acceptance Form within thirty (30) days shall constitute grounds for terminating the permit.
 3. The Director of Planning & Community Development ("Director"), at any time, can call for a review of the approved conditions of approval at a duly noticed public hearing before the Planning Commission. These condition(s) may be modified, or new condition(s) added to reduce any impacts of the proposed signage. Pursuant to section 17.80.020 of the MMC, the Planning Commission may revoke the ZV (Case No. PC-2024-0016-ZV/ENV No. 13-24-CE) (enter case number and ENV No.) if sufficient cause is given.
 4. The Applicant or successor in interest shall meet the applicable code requirements and all other City department regulations.
 5. This approval shall not supersede the approval of any other responsible agencies. The Applicant shall comply with all Federal, State and local laws.
 6. The approval of the entitlement shall expire if the rights granted are not exercised within one (1) year from the ZV's effective date. Exercise of right shall mean issuance of a building permit to commence construction or similar activities demonstrating the intent to proceed with the project, as determined by the Director.
 7. A copy of the approved Resolution shall be attached to the construction plans for any site improvement at the submittal of plans for plan check.

8. In the event the Applicant violates or fails to comply with any conditions of approval of this permit, no further permits, licenses, approvals, or certificate of occupancy shall be issued until such violation(s) has been fully remedied.
9. Any change, expansion, intensification and/or modification to the proposed plans use, or mode of operations shall be subject to the review and approval by the Director who may take action or call for review by the Montebello Planning Commission ("Planning Commission") at a noticed public hearing.

B. Public Works Conditions

1. Remove and reconstruct the existing driveway approach, sidewalk (See attachments A & B for the limit of the sidewalk panels), curbs, and gutters.
2. All improvements in public works must comply with the standards and specifications of the city of Montebello or Los Angeles County.
3. The Engineering Division issues all encroachment/excavation permits in the public right-of-way. Permits are issued to valid State of California licensed contractors to perform the necessary work.
4. The City will only issue an encroachment permit to a State of California licensed contractor. The homeowner cannot perform the work themselves. Please note that this work is not able to be performed under the homeowner-builder.
5. Your selected contractor will provide a filled-out street work permit application, city-issued business license, Certificate of Liability, and their contractor's license.
6. APWA Standards for driveway approaches are attached for your contractor to follow. Advise your contractor to perform the work using type B from the standard plans.
7. The City Engineer may require other information or may impose additional conditions and requirements as deemed necessary to protect health and safety, and to benefit the public.

C. Building Department Conditions

1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.

2. Plans prepared in compliance with the current Building Code shall be submitted to the Building Division for review prior permit issuance.
3. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
4. The building shall be addressed as 224 S GREENWOOD AVE Unit A and Unit B for the duplex and an application to assign unit numbers shall be filed with the City prior to plan check submittal.
5. Additions, alterations, repairs and changes of use or occupancy in all buildings and structures shall comply with the provisions for new buildings and structures except as otherwise provided in the California Existing Building Code in effect.
6. Project shall comply with the CalGreen Residential mandatory requirements.

PASSED AND ADOPTED this 4th day of March 2025 by the Planning Commission.

Chair Medina: () AYE () NOE () ABSENT () ABSTAIN

Vice Chair Lomeli: () AYE () NOE () ABSENT () ABSTAIN

Commissioner Cuevas: () AYE () NOE () ABSENT () ABSTAIN

Commissioner Morales: () AYE () NOE () ABSENT () ABSTAIN

Armando Medina, Chair

ATTEST:

Joseph A. Palombi, Director
Planning & Community Development Department

Notice of CEQA Exemption

To:

County of Los Angeles
Registrar-Recorder/County Clerk
12400 Imperial Highway
Norwalk, CA 90650

From:

City of Montebello
Planning & Community Development Department
1600 W. Beverly Blvd.
Montebello, CA 90640

Lead Agency: City of Montebello Planning and Community Development Department

Project Title: Zone Variance

Project Location: 224 S. Greenwood Avenue, Montebello, CA 90640

Case Number(s): PC-2024-0016-ZV/ENV No. 13-24-CE

Description of Nature, Purpose, and Beneficiaries of Project: A Zone Variance (“ZV”) Case No. PC-2024-0016-ZV to allow deviation from the R-3 zoning parking standards outlined in Montebello Municipal Code Section 17.10.020 (Residential Development Standards Table). The existing property includes a duplex and a proposed accessory dwelling unit. Specifically, to deviate from the minimum parking spaces required per dwelling unit located at 224 S. Greenwood Avenue (collectively “the property”).

Name of the Public Agency Approving the Project: City of Montebello

Name of Person or Agency Carrying Out the Project: Vicken Seraydarian (“Property Owner”)

Exempt Status (*check one*)

- ☐ Ministerial (Sec. 21080(b)(1); 15268(b)(3))
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: Class 1- CEQA Guidelines Section 15301 (Existing Facilities)
☐ Statutory Exemptions. State code number:

Justification for Project Exemption:

The Project is Categorically Exempt per CEQA Guidelines §15301 - Class 1 (Existing Facilities. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion or existing or former use. There is no additional building footprint being added.

Lead Agency Contact Person: Joseph A. Palombi, Director of Planning & Community Development

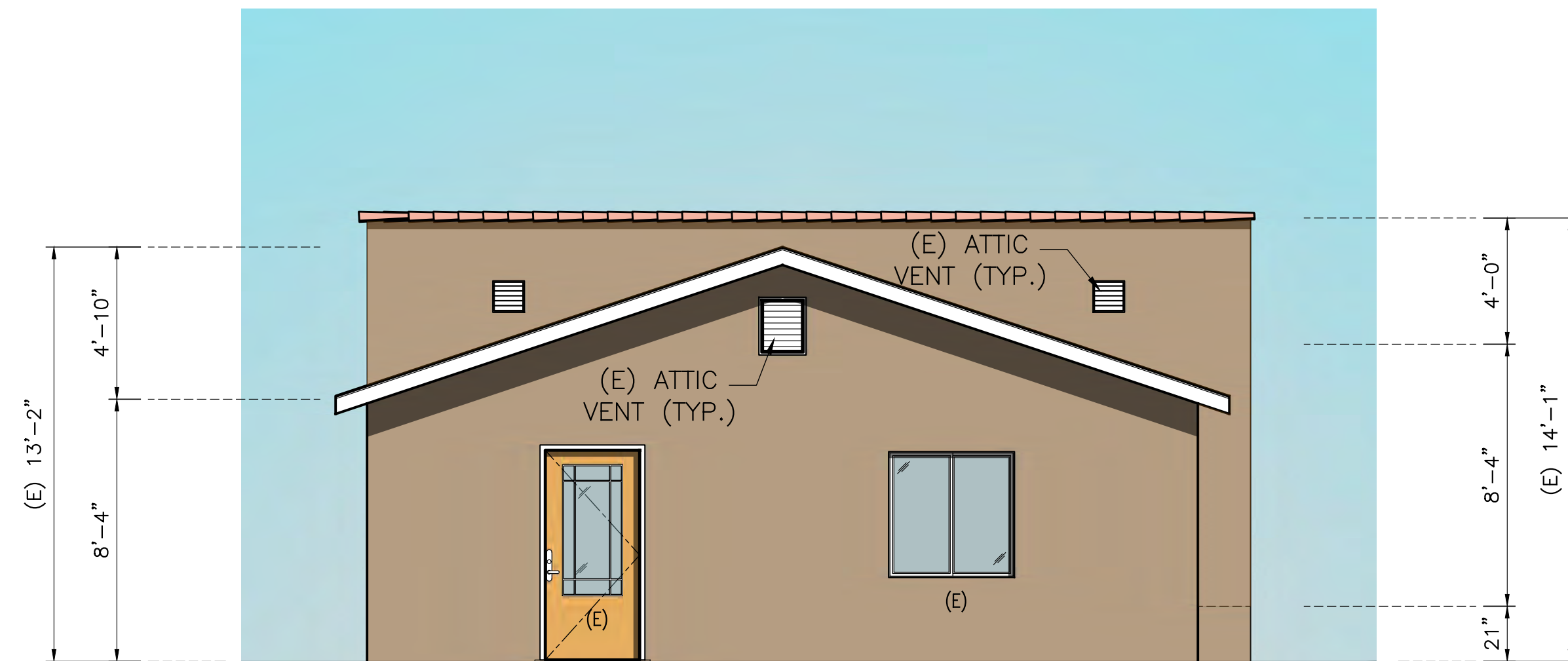
Area Code/Telephone/Extension: (323) 887-1200

If filed by applicant, attach certified document issued by the Planning and Community Development Department stating that the Department has found the project to be exempt.

Signature: _____ **Date:** _____ **Title:** _____

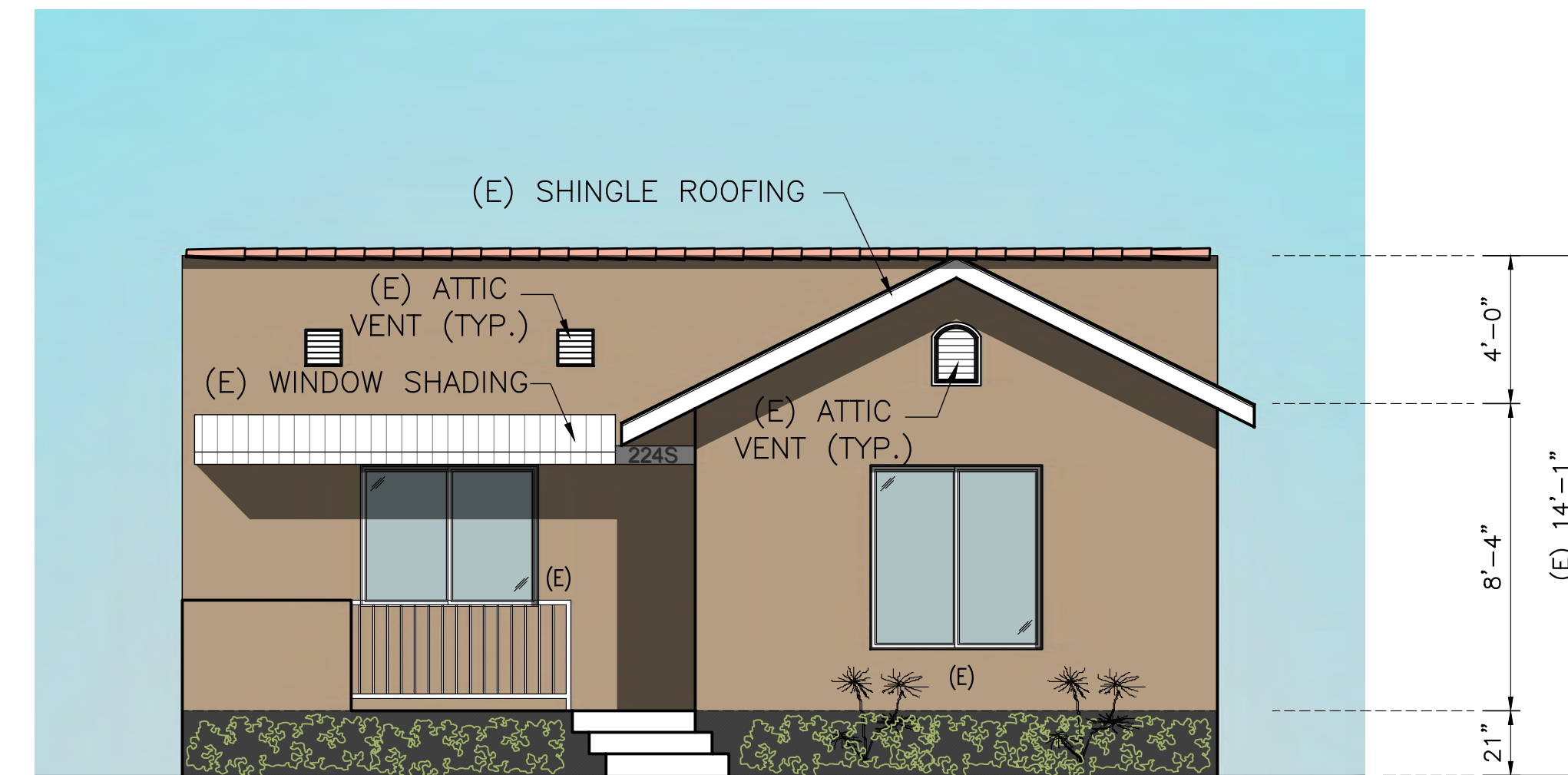
☒ Signed by Lead Agency

☐ Signed by Applicant



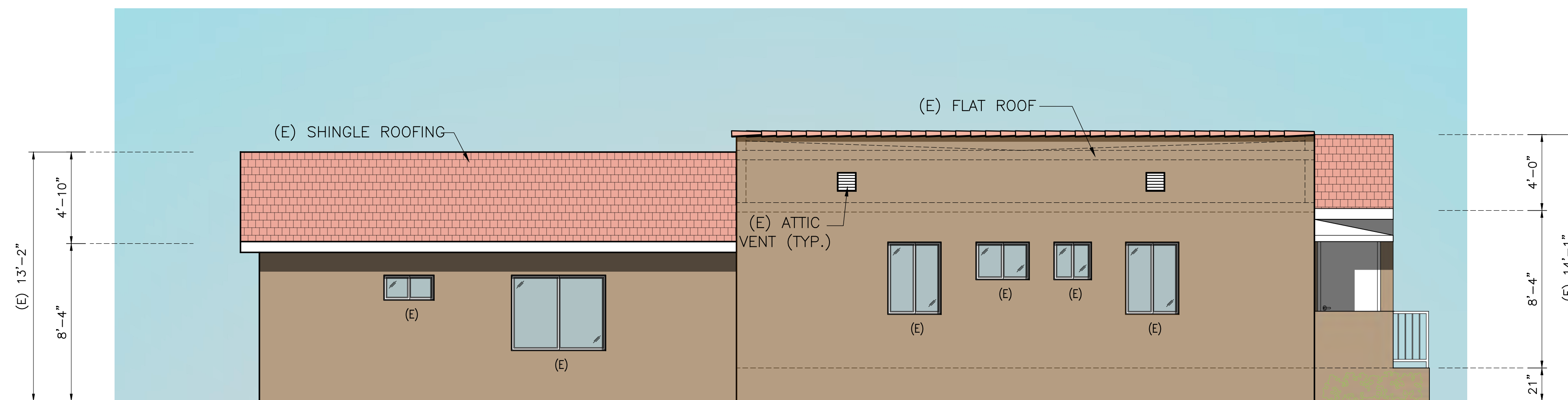
(E) EAST ELEVATION

SCALE:
1/4"=1'-0"



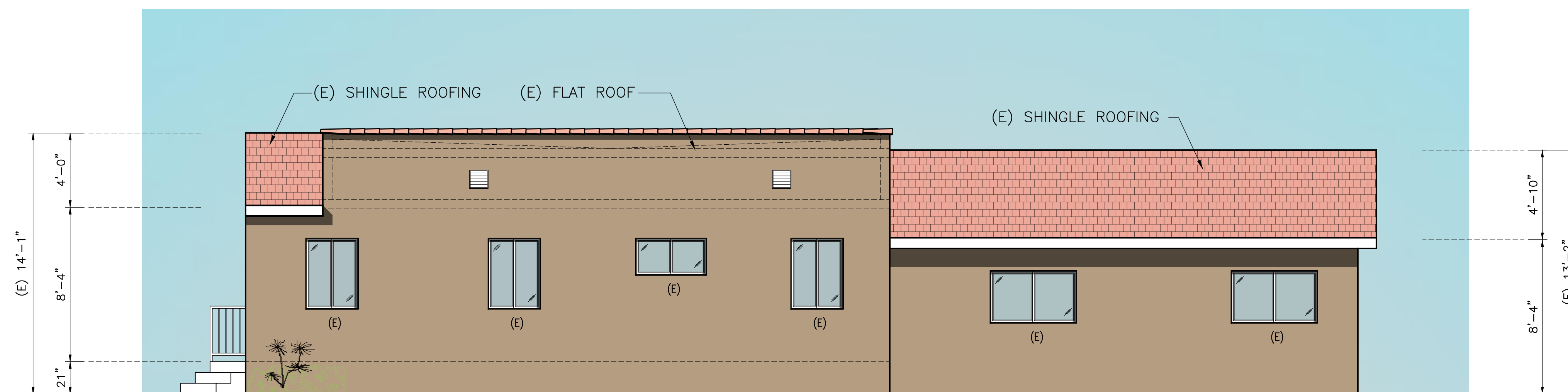
(E) WEST ELEVATION

SCALE:
1/4"=1'-0"



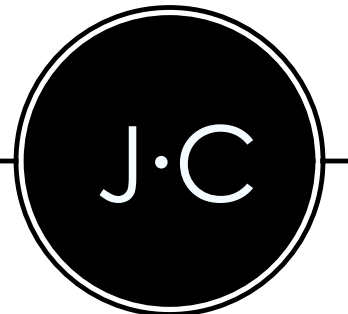
(E) NORTH ELEVATION

SCALE:
1/4"=1'-0"



(E) SOUTH ELEVATION

SCALE:
$1/4" = 1' - 0"$



JC DESIGN

10320 MATHER AVE.
SUNLAND TUJUNGA, CA 91040
TEL: (707) 338 0035
DESIGNER:
JOSEPH NALBANDIAN

Joseph

DESIGNER:
JOSEPH NALBANDIAN

PROPERTY OWNER:
VICKEN SERAYDARIAN
224S GREENWOOD AVE.,
MONTABELLO, CA 90640

PROJECT TITLE:
CONVERT (E) SINGLE FAMILY
HOUSE INTO DUPLEX

PROJECT ADDRESS:
224S GREENWOOD AVE.,
MONTABELLO, CA 90640

NO.	ISSUED FOR:	DATE:
△		
△		
△		
REV	BY:	DATE:

JOB NO.:	077
DRAWN BY:	J.N.
CHECKED BY:	J.N.
DATE:	10-28-24

SHEET DESCRIPTION:
UNIT A AND UNIT ELEVATIONS

SHEET NUMBER:

A-102



10320 MATHER AVE.
SUNLAND TUJUNGA, CA 91040
TEL: (707) 338 0035
DESIGNER:
JOSEPH NALBANDIAN


DESIGNER:
JOSEPH NALBANDIAN



SCALE: $\frac{1}{4}" = 1' - 0"$ **2**



SCALE: $\frac{1}{4}" = 1' - 0"$ **1**



SCALE: 4
1/4"=1'-0"



SCALE: $1/4" = 1' - 0"$

PROPERTY OWNER:
VICKEN SERAYDARIAN
224S GREENWOOD AVE.,
MONTABELLO, CA 90640

PROJECT TITLE:
CONVERT (E) SINGLE FAMILY
HOUSE INTO DUPLEX

PROJECT ADDRESS:
224S GREENWOOD AVE.,
MONTABELLO, CA 90640

JOB NO.:	077
DRAWN BY:	J.N.
CHECKED BY:	J.N.
DATE:	10-28-24

SHEET DESCRIPTION:
UNIT A AND UNIT ELEVATIONS

SHEET NUMBER:

A-103

PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY PARKING SPACES

137 S 5th E Montebello CA	90640 Duplex	2
245 S Spru Montebello CA	90640 Duplex	1
221 S Spru Montebello CA	90640 Duplex	1
136 Califor Montebello CA	90640 Duplex	2
129 S Park Montebello CA	90640 Duplex	3
129 Califor Montebello CA	90640 Duplex	2
239 S 6th E Montebello CA	90640 Duplex	2
149 N Gree Montebello CA	90640 Duplex	2
134 N 12th Montebello CA	90640 Duplex	2
145 N Gree Montebello CA	90640 Duplex	2
125 N 10th Montebello CA	90640 Duplex	2
134 S Spru Montebello CA	90640 Duplex	1
220 Cedar Montebello CA	90640 Duplex	2
233 S 5th E Montebello CA	90640 Duplex	2
113 S 10th Montebello CA	90640 Duplex	1
125 N Gree Montebello CA	90640 Duplex	1