



**PLANNING COMMISSION
MEETING AGENDA**

TUESDAY, MAY 6, 2025 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

PLANNING COMMISSION MEMBERS

**ARMANDO MEDINA, CHAIR
NATALIA LOMELI, VICE CHAIR
VICTOR CUEVAS, PLANNING COMMISSIONER
ALICIA MORALES, PLANNING COMMISSIONER
NOAH LOPEZ, PLANNING COMMISSIONER**

CITY STAFF

**JOSEPH PALOMBI, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
VIVIANA ESPARZA, PLANNING MANAGER
JILLIAN PICADO, SENIOR ADMINISTRATIVE ASSISTANT**

NOTICES

This Planning Commission Meeting will be held in person and will meet at **City Hall – City Council Chambers, 1600 West Beverly Boulevard, Montebello, California**. The meeting will be live streamed and can be watched on the City's website and YouTube Channel via the following link: <https://www.montebelloca.gov>, and may also be viewed on Spectrum Public Access Channel 3 for all Spectrum cable subscribers.

AMERICANS WITH DISABILITIES ACT: In compliance with the Americans with Disabilities Act (ADA) any person with a disability who requires special accommodations in order to participate in a meeting should contact **Jillian Picado** at **(323) 887-1218** Monday-Thursday from 7:30 a.m.-5:30 p.m. Please call 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II 1203). If you require translation services, please contact us 24 hours before this meeting.

PUBLIC COMMENTS:

In-Person: For those interested in participating during the Public Comment period(s) or public testimony period for Public Hearings of the Planning Commission meetings, you may address the Planning Commission in person the day of the meeting. Speakers will be required to complete a speaker card provided at the door and submit it to **Jillian Picado** prior to each Public Comment announcement period. Staff will number and call each speaker card in the order received.

Via Email: The public may also submit emailed comments via the following email address: **pcpubliccomment@montebelloca.gov** up until the day of the meeting, **Tuesday, May 6, 2025 by 6:00 p.m.** These comments will be submitted to all members of the Planning Commission and will not be read aloud, but will be entered into the record of the proceedings to the extent they relate to matters listed on the posted agenda or otherwise address matters/issues within the subject matter jurisdiction of the Planning Commission. Any requests to provide public comment which is submitted after the deadlines indicated above will not be submitted to the Planning Commission, with the exception of non-agenda written item comments which will be held over for the next regularly scheduled meeting.

RULES OF DECORUM:

Pursuant to Section 54957.95 of the Government Code, the presiding member of the legislative body conducting a meeting, or their designee, is authorized to remove, or cause the removal of, an individual for disrupting the meeting. Any such removal will be preceded by a warning to the disruptive individual by the presiding member of the legislative body or their designee that the individual's behavior is disrupting the meeting and that the individual's failure to promptly cease their disruptive behavior may result in their removal.

AGENDA MATERIALS: The agenda and agenda packet related to items on this agenda are available for public inspection at City's website at: [Agendas, Minutes, and Videos](#),

IN CONSIDERATION OF OTHERS, PLEASE TURN OFF, OR MUTE, ALL CELL PHONES AND PAGERS
THANK YOU FOR YOUR COOPERATION

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

CORRECTIONS TO THE AGENDA

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS

MINUTES

1. **Approval of the Minutes from the Planning Commission Meeting held on March 18, 2025.**

CONTINUED PUBLIC HEARING

2. **SITE PLAN REVIEW ("SPR") CASE NO. PC-2025-0003-SPR IS REQUESTED TO ALLOW THE CONSTRUCTION OF A 7,562 SQUARE FOOT WAREHOUSE ADDITION TO AN EXISTING 19,584 SQUARE FOOT BUILDING THAT WILL BE UTILIZED FOR STORAGE OF DRY AND FROZEN FOOD PRODUCTS FOR THE PROPERTY LOCATED AT 825 S. MAPLE AVENUE ("PROJECT SITE")**

RECOMMENDATION: It is recommended that the Planning Commission conduct a public hearing and take the following action:

- ADOPT Resolution No. 06-25 conditionally approving the Site Plan Review for the construction of a 7,562 square foot warehouse addition to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products for the property located at 825 S. Maple Avenue, and making related findings that the proposed project is consistent with the Montebello General Plan; and
- DETERMINE and FIND that the project (ENV No. 06-25) is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 -- In-fill Development Projects.

PLANNING COMMISSION ORALS

Planning Commission member announcements; requests for future agenda items; conference/meetings reports.

ADJOURNMENT

The City of Montebello Planning Commission will adjourn to the next Regular Meeting on **May 20, 2025 at 6:30 p.m.** at City Hall Council Chambers located at 1600 W. Beverly Boulevard, Montebello, CA 90640.

I, **Jillian Picado, Senior Administrative Assistant** for the City of Montebello, hereby certify that a copy of this agenda has been posted on or before **Thursday, May 1, 2025 6:30 p.m.**



Jillian Picado, Senior Administrative Assistant



CITY OF MONTEBELLO

PLANNING COMMISSION MEETING AGENDA

MINUTES

TUESDAY, MARCH 18, 2025 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

CALL TO ORDER – Chair Medina called the meeting to order at 6:31 p.m.

ROLL CALL – Chair Medina, Vice-Chair Lomeli, Commissioner Morales, and Commissioner Cuevas.

PLEDGE OF ALLEGIANCE – Chair Medina.

CORRECTIONS TO THE AGENDA – None.

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS – None.

MINUTES

1. Approval of the Minutes from the Planning Commission meeting held on March 4, 2025.

Vice-Chair Lomeli motioned to approve the meeting minutes and was Seconded by Commissioner Morales. Planning Manager, Viviana Esparza, took roll, and the item was approved 3-1. Commissioner Cuevas chose to abstain as he was not present at the meeting.

CONTINUED PUBLIC HEARING

2. CONDITIONAL USE PERMIT (“CUP”) (CASE NO. PC-2024-0015-CUP) TO ALLOW THE ON-SITE SALE OF A FULL LINE OF ALCOHOLIC BEVERAGES (ALCOHOLIC BEVERAGE CONTROL LICENSE TYPE 47) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MONTEBELLO PUBLIC MARKET) FOR THE

PROPERTY LOCATED AT 516 W. WHITTIER BOULEVARD (“THE PROPERTY”).

Director Palombi introduced the continued item, followed by a presentation from Assistant Planner, Ms. Grace Hayashi, regarding the adoption of Resolution No. 03-25, which approves Conditional Use Permit (Case No. PC-2024-0015-CUP), to allow the on-site sale of a full line of alcoholic beverages (Alcoholic Beverage Control License Type 47) for on-site consumption in conjunction with a restaurant for the property located at 516 W. Whittier Blvd. (Montebello Public Market). Per the previous Planning Commission meeting on March 4, 2025, staff was requested to provide additional information regarding parking within the Downtown Specific Plan due to increased traffic concerns. Ms. Hayashi reviewed the findings of the mini parking study that was conducted by staff over a five-day period. Following Ms. Hayashi's presentation and upon Chair Medina's request, Jason Pan, the son of the applicant, Yao Pan, approached the podium, addressed the commission and their questions regarding the intent of the business with or without the approval of the alcohol license, improvements to the property, and being a responsible liquor license holder. Ms. Hayashi further answered the commission's questions regarding parking and drop-off zones, hours of operation, and the conditions of the parking study. The Public Hearing was opened at 7:09 p.m. The sole public speaker, Barney Santos, addressed the commission and voiced his concerns regarding the parking study, the owner's and their operator's code violations, and the responsibility of the owners as liquor license holders. Chair Medina inquired if Jason Pan wanted to rebut at which point Jason Pan approached the podium and provided his rebuttal. The Public Hearing was closed at 7:14 p.m. Chair Medina recommended adding a stipulation to the conditions of approval requiring a quarterly compliance review for the first two (2) years, followed by an annual review for the remaining three (3) years. Chair Medina motioned to approve Conditional Use Permit (Case No. PC-2024-0015-CUP) to allow the on-site sale of a full line of alcoholic beverages for on-site consumption in conjunction with a restaurant at the specific location with the added condition that there be quarterly compliance reviews for the first two (2) years from the date the ABC license is established, followed by an annual review for the remaining three (3) years, as well as to determine the project is categorically exempt from the California Environmental Quality Act (CEQA). Commissioner Cuevas seconded the motion. Planning Manager, Ms. Viviana Esparza, conducted a roll call vote, and the motion did not pass as Chair Medina and Commissioner Cuevas' voted to approve while Vice-Chair Lomeli and Commissioner Morales voted to abstain. The Deputy City Attorney, Austin Ching, explained the commission can entertain an amended motion if it so desires. Commissioner Morales voiced concern about the possibility of the business showing irresponsibility during the compliance review and inquired if the business could be terminated in such a scenario. Director Palombi clarified in such a scenario that the CUP could be revoked and the alcohol would go away, however, the restaurant would still be allowed even without the alcohol. Commissioner Morales motioned to approve Conditional Use Permit (Case No. PC-2024-0015-CUP) to allow the on-site sale of a full line of alcoholic beverages for on-site consumption in conjunction with a restaurant at the specific location with the added condition that there be quarterly compliance reviews for the first two (2) years from the date the ABC license is established, followed by an annual compliance review for the remaining three (3) years where findings would be reported back to the commission, as well as to determine and find the project is categorically exempt from the California Environmental Quality Act (CEQA). Chair Medina seconded the motion. Ms. Esparza conducted a roll call vote, and the item was approved 3-1 as Vice-Chair Lomeli chose to abstain from the vote.

PUBLIC HEARING

3. CONDITIONAL USE PERMIT (“CUP”) CASE NO. PC-2025-0001-CUP TO AUTHORIZE THE DEMOLITION OF THE EXISTING ONE-STORY STRUCTURE LOCATED AT 720 S. MAPLE AVENUE (“PROJECT SITE”) AND TO ALLOW THE CONSTRUCTION AND OPERATION OF AN APPROXIMATELY 170,852 SQUARE-FOOT, 4-STORY SELF-STORAGE FACILITY

Director Palombi introduced the item, followed by a presentation from Assistant Planner, Mr. Daniel Ruiz, regarding the adoption of Resolution No. 05-25 conditionally approving the demolition of all structures located on the Project Site and allowing the construction of an approximately 170,582 square foot, 4-story structure for self-storage and office related uses for the property located at 720 S. Maple Avenue and making related findings that the proposed Project is consistent with the Montebello General Plan. Following Mr. Ruiz's presentation, Mr. Ruiz responded to questions from the commission regarding updated uses and zoning in the General Plan. Chair Medina requested the applicant, Mr. Adam Lenz from Madison Capital Group, approach the podium and address the commission. Mr. Lenz addressed Chair Medina's questions regarding job creation and the height of the rear fence. Commissioners Cuevas and Morales asked Mr. Ruiz follow-up questions regarding neighbor comments and outreach, zoning, and the buffer zone. The Public Hearing was opened at 7:59 p.m. Three (3) members of the public voiced their concerns regarding easement, access, impact to the view, and additional storage options for RVs. The Public Hearing was closed at 8:21 p.m. Commissioner Morales motioned to approve the adoption of Resolution No. 05-25 conditionally approving the demolition of all structures located on the Project Site and allowing the construction of an approximately 170,582 square foot, 4-story structure for self-storage and office-related uses for the property located at 720 S. Maple Avenue

and making related findings that the proposed Project is consistent with the Montebello General Plan, as well as determining and finding that the Project (ENV No. 01-25) is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332—In-fill Development Projects. Vice-Chair Lomeli seconded the motion. Ms. Esparza conducted a roll call vote, and the item was approved unanimously 4-0.

PLANNING COMMISSION ORALS – None.

ADJOURNMENT

The meeting was adjourned at 8:27 p.m. to the next regularly scheduled meeting that will be held on April 1, 2025.

Joseph Palombi, Planning Commission Secretary



ITEM # 2

**CITY OF MONTEBELLO
PLANNING COMMISSION AGENDA STAFF REPORT**

TO: Members of the Planning Commission

FROM: Joseph Palombi, Planning & Community Development Director

BY: Grace Hayashi, Assistant Planner

SUBJECT: **SITE PLAN REVIEW (“SPR”) CASE NO. PC-2025-0003-SPR IS REQUESTED TO ALLOW THE CONSTRUCTION OF A 7,562 SQUARE FOOT WAREHOUSE ADDITION TO AN EXISTING 19,584 SQUARE FOOT BUILDING THAT WILL BE UTILIZED FOR STORAGE OF DRY AND FROZEN FOOD PRODUCTS FOR THE PROPERTY LOCATED AT 825 S. MAPLE AVENUE (“PROJECT SITE”)**

DATE: May 6, 2025

RECOMMENDATION(S):

It is recommended that the Planning Commission conduct a public hearing and take the following action:

- ADOPT Resolution No. 06-25 conditionally approving the Site Plan Review for the construction of a 7,562 square foot warehouse addition to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products for the property located at 825 S. Maple Avenue, and making related findings that the proposed project is consistent with the Montebello General Plan; and
- DETERMINE and FIND that the project (ENV No. 06-25) is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 -- In-fill Development Projects.

BACKGROUND:

On February 26, 2025, Vincent Marcais (the “Applicant”), filed an application for a Site Plan Review (Case No. PC-2025-0003-SPR) to construct a 7,562 square foot warehouse

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addition that will be added to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products.

On March 3, 2025, staff issued a deemed complete letter to the Applicant.

PROJECT/APPLICANT INFORMATION

Project Location: 825 S. Maple Avenue

Project Applicant: Vincent Marcais

Property Owner: 825 Maple LLC

General Plan Designation: Industrial District

Zoning: M-1 (Light Manufacturing)

Existing Use on Property: Commercial and Light Manufacturing

PROJECT SITE

The surrounding zoning and land uses are listed as follows:

Direction	Zone	Land Use Designation
North	M-1	Industrial District
South	M-1	Industrial District
East	R-1	Neighborhood (Single-family Residences)
West	M-1	Industrial District

ENVIRONMENTAL:

The proposed Site Plan Review (Case No. PC-2025-0003-SPR) is considered a “project,” per the California Environmental Quality Act (CEQA) definition of a “project.” In accordance with CEQA, the project is Categorically Exempt per Section §15332, Class 32 (In-Fill Development Projects) and none of the exceptions found under CEQA Section §15300.2 apply. Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

The Proposed Project meets all the conditions required to be classified as a Class 32 CEQA exemption and is consistent with the applicable general plan and zoning

designations, policies, and regulations. The proposed development occurs within city limits on a site measuring approximately 1.23 acres surrounded by already developed urban/residential uses, under the threshold of five acres determined by the state.

REPORTS RECEIVED

On March 5, 2025, the application for Case No. PC-2025-0003-SPR was routed to the Building Division as well as to the Public Works, Fire, Police, and Recreation & Community Services Departments for review, comments, and conditions. The comments and conditions of approval that were provided are included in the resolution found within "Attachment A."

ANALYSIS:

PROJECT DESCRIPTION

The Applicant seeks approval to permit construction of a 7,562 square foot warehouse addition to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products for the property located at 825 S. Maple Avenue (the "Proposed Project"). For reference, the project site plan and rendering can be found within Attachment B.

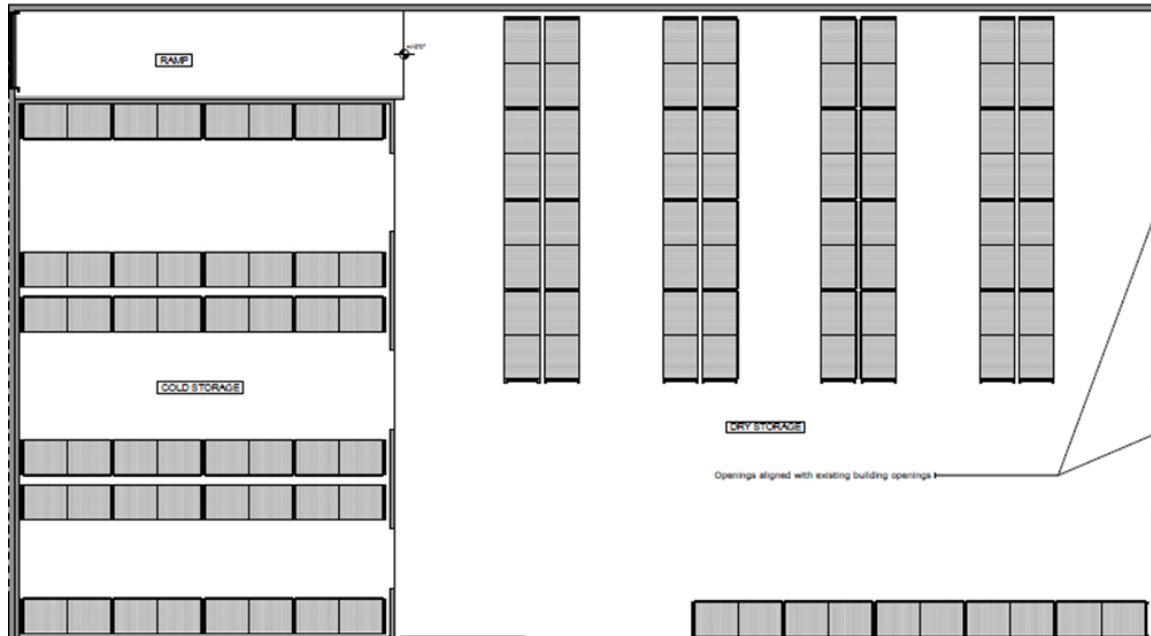
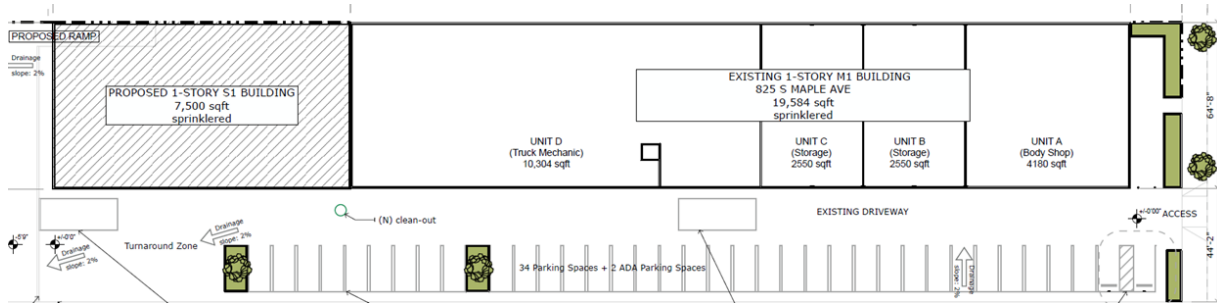
The Project Site consists of one rectangularly shaped parcel located along South Maple Avenue with a total area of approximately 53,735 square feet (1.23 acres). The site is currently developed with a 19,584 square foot, 1-story structure divided into four units. The four units are currently divided into a body shop, one vacant unit, a light manufacturing unit, and a truck mechanic.

The proposed addition to the storage will consist of dry and frozen food components that will be stored on pallet racks and shelves. A portion of the building will contain freezer units powered by the compressors located on the back side of the building, and the other portion will have room temperature storage.

The surrounding area consists of an auto-body shop to the north, low-density single-family homes to the east, transportation to the south, and other auto-uses to the west. The existing 19,584 square foot building consists of a 10,304 square foot truck mechanic unit, one 2,550 square foot vacant unit, one 2,550 square foot light manufacturing unit, and a 4,180 square foot body shop unit. The property provides thirty-four (34) standard parking stalls, two (2) ADA parking stalls, (1) loading space. Pursuant to Chapter 17.22.030 Off-street Parking and Loading within the Commercial Zones Generally section, the property meets the required parking spaces. Access to the site will be a 44' driveway approach on the eastside of the property off of Maple Avenue. A 20-foot landscaped front yard setback will be provided. The Applicant will meet all other development standards through the administrative plan check process.

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Manufacturing Zones Development Standards		
	Requirement within MMC	Provided by Project
Minimum Lot Area, Width and Depth	Determined on a case-by-case basis. Any existing lot which is legal at the time this section is adopted can be developed in accordance with other provisions herein.	Lot Area: 53,735 square feet (1.23 acres) Lot Width: 109.245 feet Lot Depth: 491.99 feet
Maximum Building Height	Unlimited except if the lot abuts a residential zone, then maximum height shall be thirty-five feet, or twenty-five feet if the building is within fifteen feet of the residential property line	37 feet
Maximum Floor Area Ratio	3:1	(27,146 total building square footage to 53,735 lot size)

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Minimum Front Setback	20 feet if across from or abutting R zone 10 or 5 feet if decorative façade 20 feet from street for 15 feet extending from both sides of the driveway when vehicle access directly into building	20 feet
Minimum Side Setback	5 feet (15 feet if abutting R zone); or 0 feet if no windows or doors (and decorative if abutting R-zone). 10 feet if side yard is facing street, or 5 feet if decorative façade. 20 feet if across street from R Zone 20 feet from street for at least 15 feet extending from both sides of the driveway when vehicle access directly into building.	Side Setback: 50 feet Rear Setback: 0 feet (no openings)
Minimum Rear Setback	5 feet (15 feet if abutting R-zone); or 0 feet if no windows or doors (and decorative façade if abutting R-zone). 20 feet from alley for at least 15 feet extending from both sides of the driveway when vehicle access directly into building.	40 feet
Number of Parking Spaces	Chapter 17.52 of the Montebello Municipal Code (Off-Street Parking)	36 parking spaces including 34 standard parking spaces (18' x 9.5'), 2 ADA accessible parking spaces, and 1 loading space (12'x30')

The table above depicts the development regulations and standards found within Chapter 17.32 (Manufacturing Zones Generally) and Chapter 17.52 (Off-Street Parking) of the Montebello Municipal Code (MMC) as they pertain to this specific project proposal. The project proposal meets the requirements for minimum lot area, width, and depth, maximum floor area ratio, number of parking spaces as well as the minimum front, side, and rear setback requirements.

GENERAL PLAN CONSISTENCY

The City's General Plan Land Use category for the Project Site is "Industrial District". The following General Plan Goals and Policies are applicable to the storage of frozen and dry food products proposed at the Project Site:

General Plan "Our Prosperous Community" Element policy 2.6 (P2.6) is to "preserve and enhance industrial areas."

General Plan "Our Prosperous Community" Element action 2.6a (A2.6a) is to "promote more compatible land uses adjacent to industrial areas."

General Plan "Our Well-Planned Community" Element action 3.3b (A3.3b) is to "protect adjoining properties from the potential adverse impacts associated with non-residential uses on corridors adjacent to residential areas with proper mitigation measures that address scale, massing, traffic, noise, appearance, lighting, and drainage."

General Plan "Our Well Planned Community" Element policy 3.6 (P3.6) is to "preserve and enhance the industrial district while retaining and expanding existing businesses."

General Plan "Our Healthy Community" Element policy 5.4 (P5.4) is to "minimize noise impacts to ensure that noise does not detract from Montebello's quality of life."

The Proposed Project conforms to City of Montebello General Plan policies P2.6, P3.3, P3.6, and P5.4 related to the City preserving and enhancing industrial areas, revitalizing established neighborhoods and corridors, retaining and expanding existing industrial district businesses, minimizing noise impacts to not impact Montebello's quality of life, and promoting crime prevention strategies. The proposed construction of food storage preserves and enhances the industrial character of the area while promoting land use compatibility with adjacent properties. Storage is a low-impact commercial use that complement industrial zones by generating minimal traffic, noise, and operational disruptions.

SITE PLAN REVIEW

Pursuant to Chapter 17.74 (Site Plan Review), the approval of a Site Plan Review is required for all commercial and industrial projects involving the construction of five thousand square feet or more of building area. Section 17.74.010 of the MMC specifies that the purpose of a site plan review is to "minimize or preclude potential adverse impacts to the public interest or on abutting properties and adjacent residential, commercial and industrial neighborhoods, resulting from the design or layout of a proposed development."

Pursuant to Section 17.74.070 of the MMC, before any SPR shall be granted, the following findings must be made:

A. Describe how the proposed design for improvement complies with all requirements of the Montebello Municipal Code;

The subject site is located within the M-1 (Light Manufacturing) Zone which is intended to provide areas for the establishment of light industrial plants and related activities in a manner that will foster mutually beneficial relationships within the area. The proposed design meets all requirements of the Montebello Municipal Code Chapter 17.32 Manufacturing Zones Generally. The site for the proposed use is adequate in size and shape. The site is a rectangular-shaped, flat lot that is approximately 53,735 square feet (1.23 acres). The project will observe the required setbacks at the front, side, and rear yards. The project will also provide a 20-foot, landscaped building setback to the front. The subject site is adequate in size and shape to accommodate the development features of the Proposed Project and is in a proper location for the project.

B. Describe how the proposed design for improvement is consistent with the City's General Plan;

The proposed addition is consistent with Montebello's General Plan. By preserving and enhancing industrial areas, it will support the continued evolution of commercial industrial development in the City. One of the General Plan's visions for growth within the City is to revitalize industrial areas. The industrial zones will provide jobs and is an important source of revenue for the City. Industrially designated land is a valuable source for economic prosperity within the City of Montebello. The General Plan also emphasizes preserving and enhancing the industrial district while retaining and expanding existing businesses. This proposed project is expanding upon an existing business at the subject property, creating more economic and business opportunities.

C. Describe how the proposed design for improvement will not have any significant adverse impact on the surrounding properties or on the general public welfare;

The proposed project at the existing site aligns with the characteristics of the surrounding properties also in the Manufacturing zone and meets all requirements in the Montebello Municipal Code. The construction will have controlled hours of work as well as appropriate signage. The proposed construction will be located at the backside of the lot, so it will have a limited visual impact on public-right-of-way. As part of the project, the existing parking at the site will be re-paved and additional landscaping will be provided. The new addition will be utilized for food storage; therefore, there will be a minimal impact on traffic. Pursuant to the California Environmental Quality Act (CEQA) it will be a Class 32 in-fill development project as the project will not result in any significant effects relating to traffic, noise, air quality, or water quality. Operational guidelines will be established restricting noise-generating activities to designated hours, further limiting disturbances. The facility's inherently quiet nature, with limited customer visits and controlled operations, ensures minimal impact on the neighborhood. The proposed addition will be utilized for food storage and will be fully enclosed, further reducing any potential noise. Conditions of approval are also included as a part of this proposal to limit any possible adverse impacts.

SUMMARY:

PUBLIC NOTIFICATION

Pursuant to MMC Section 17.78 (Public Hearings, Notices, and Appeals), the following noticing was performed:

- On April 3, 2025, the Public Hearing Notice was published in the Daily Journal (Whittier Daily News); and
- On April 3, 2025, the Public Hearing Notice was mailed to all property owners within a 300-foot radius from the exterior boundaries of the project site.

ATTACHMENT(S)

1. Resolution No. 06-25 (PC-2025-0003-SPR)
2. Project Site Plan
3. Notice of Exemption

**CITY OF MONTEBELLO
PLANNING COMMISSION**

RESOLUTION NO. 6-25

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
MONTEBELLO, CALIFORNIA, APPROVING SITE PLAN REVIEW NO.
PC-2025-0003-SPR TO ALLOW THE CONSTRUCTION OF A 7,562
SQUARE FOOT WAREHOUSE ADDITION TO AN EXISTING 19,584
SQUARE FOOT BUILDING THAT WILL BE UTILIZED FOR STORAGE
OF DRY AND FROZEN FOOD PRODUCTS FOR THE PROPERTY
LOCATED AT 825 S. MAPLE AVENUE AND ADOPTING A NOTICE OF
EXEMPTION UNDER CEQA § 15332 (EXISTING FACILITIES)**

WHEREAS, on February 26, 2025, Vincent Marcais, the ("Applicant") filed a Site Plan Review ("SPR") application (PC-2025-0003-SPR) with the City of Montebello ("City") to allow the construction of a 7,562 square foot warehouse addition to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products ("Project") for the property located at 825 S. Maple Avenue ("Project Site"); and

WHEREAS, the approval of a Site Plan Review is required per Montebello Municipal Code ("MMC") Chapter 17.74 to allow the construction of a 7,562 square foot building; and

WHEREAS, pursuant to MMC Chapter 17.74, Section 17.74.010, the purpose of the Site Plan Review is to minimize or preclude potential adverse impacts to the public interest or an abutting properties and adjacent residential, commercial, and industrial neighborhoods, resulting from the design or layout of a proposed development; and

WHEREAS, pursuant to MMC Chapter 17.74, Section 17.74.020, the Planning Commission shall have the authority to review and approve, approve with conditions, or deny approval of a development through a Site Plan Review process; and

WHEREAS, pursuant to MMC Chapter 17.74, Section 17.74.080, the Planning Commission may approve a development plan subject to a Site Plan Review with conditions as the Planning Commission finds are warranted by the circumstances involved; and

WHEREAS, pursuant to Section 21067 of the Public Resources Code, and Section 15367 of the State CEQA Guidelines (Cal. Code Regs., tit. 14, § 15000 et seq.), the City of Montebello is the lead agency for the proposed Project; and

WHEREAS, the Site Plan Review (PC-2025-0003-SPR) is considered a "project," as per the California Environmental Quality Act ("CEQA") definition of a "project"; and

WHEREAS, the Project is Categorically Exempt per CEQA Section §15332, Class 32 (In-Fill Development Projects) because the Project consists of the operation, permitting, and licensing of an existing facility there will be no expansion of the interior or exterior footprint of the existing facility; and

WHEREAS, a duly noticed public hearing has been held, at which the Planning Commission received and considered staff presentations, recommendations, public testimony, and all other matters presented at the public hearing and included in the record for this matter, and all other legal prerequisites to the adoption of this Resolution have occurred; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW THEREFORE, the Planning Commission of the City of Montebello hereby finds, declares and resolves as follows:

SECTION 1. RECITALS. The foregoing recitals are true and correct and are hereby incorporated as substantive findings in this Resolution.

SECTION 2. FINDINGS.

A. Site Plan Review. Based on the substantial evidence presented to and considered by the Planning Commission at the public hearing on the Application, the Planning Commission makes the following findings pursuant to Chapter 17.74 of the Montebello Municipal Code:

1. Describe how the proposed design for improvement complies with all requirements of the Montebello Municipal Code.

The subject site is located within the M-1 (Light Manufacturing) Zone which is intended to provide areas for the establishment of light industrial plants and related activities in a manner that will foster mutually beneficial relationships within the area. The proposed design meets all requirements of the Montebello Municipal Code Chapter 17.32 Manufacturing Zones Generally. The site for the proposed use is adequate in size and shape. The site is a rectangular-shaped, flat lot that is approximately 53,735 square feet (1.23 acres). The project will observe the required setbacks at the front, side, and rear yards. The project will also provide a 20-foot, landscaped building setback to the front. The subject site is adequate in size and shape to accommodate the development features of the Proposed Project and is in a proper location for the project.

2. Describe how the proposed design for improvement is consistent with the City's General Plan.

The proposed addition is consistent with Montebello's General Plan. By preserving and enhancing industrial areas, it will support the continued evolution of commercial industrial development in the City. One of the General Plan's visions for growth within the City is to revitalize industrial areas. The industrial zones will provide jobs and is an important source of revenue for the City. Industrially designated land is a valuable source for economic prosperity within the City of Montebello. The General Plan also emphasizes preserving and enhancing the industrial district while retaining and expanding existing businesses. This proposed project is expanding upon an existing business at the subject property, creating more economic and business opportunities.

3. Describe how the proposed design for improvement will not have any significant adverse impact on the surrounding properties or on the general public welfare.

The proposed project at the existing site aligns with the characteristics of the surrounding properties also in the Manufacturing zone and meets all requirements in the Montebello Municipal Code. The construction will have controlled hours of work as well as appropriate signage. The proposed construction will be located at the backside of the lot, so it will have a limited visual impact on public-right-of-way. As part of the project, the existing parking at the site will be re-paved and additional landscaping will be provided. The new addition will be utilized for food storage; therefore, there will be a minimal impact on traffic. Pursuant to the California Environmental Quality Act (CEQA) it will be a Class 32 in-fill development project as the project will not result in any significant effects relating to traffic, noise, air quality, or water quality. Operational guidelines will be established restricting noise-generating activities to designated hours, further limiting disturbances. The facility's inherently quiet nature, with limited customer visits and controlled operations, ensures minimal impact on the neighborhood. The proposed addition will be utilized for food storage and will be fully enclosed, further reducing any potential noise. Conditions of approval are also included as a part of this proposal to limit any possible adverse impacts.

The City's General Plan Land Use category for the Project Site is the City's "Industrial District" land use category. The following General Plan Goals and Policies are applicable to the storage of (frozen and dry) food products proposed at the Project Site:

Policy/Goal	Description
General Plan "Our Prosperous Community" Element policy 2.6 (P2.6): to preserve and enhance industrial areas.	The proposed construction is an addition to an already existing industrial building. It is enhancing the existing

	state of the property by bringing more business and economic prosperity.
General Plan “Our Prosperous Community” Element action 2.6a (A2.6a): to promote more compatible land uses adjacent to industrial areas.	This property is surrounded by other manufacturing zones and residential properties to the east within an industrial district. Surrounding properties are consistent and compatible with one another specifically relating to auto-uses and light manufacturing.
General Plan “Our Well-Planned Community” Element action 3.3b (A3.3b): to protect adjoining properties from the potential adverse impacts associated with non-residential uses on corridors adjacent to residential areas with proper mitigation measures that address scale, massing, traffic, noise, appearance, lighting, and drainage.	The property is surrounded by existing manufacturing zones and residential uses to the east. The property has been operating as auto-use and light manufacturing. The proposed project is to expand the existing building for a storage component. The construction will be at the back of the parcel surrounded by other manufacturing properties, not residential.
General Plan “Our Well-Planned Community” Element policy 3.6 (P3.6): to preserve and enhance the industrial district while retaining and expanding existing businesses.	This proposed project is expanding upon the exiting building and business. The existing building consists of four units with auto-use and light manufacturing. The new building will be an addition to the existing building for food storage.
General Plan “Our Healthy Community” Element policy 5.4 (P5.4): to minimize noise impacts to ensure that noise does not detract from Montebello’s quality of life.	The proposed construction of food storage preserves and enhances the industrial character of the area while promoting land use compatibility with adjacent properties. Storage is a low-impact commercial use that complement industrial zones by generating minimal traffic, noise, and operational disruptions.

SECTION 3. CEQA. The Planning Commission hereby approves and adopts the CEQA Categorical Exemption §15332 (In-Fill Development Projects) Class 32 exemption considering that none of the exceptions found under CEQA Section §15300.2 apply and considering that the project meets all of the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

SECTION 4. APPROVALS. The Planning Commission hereby approves a Site Plan Review (Case No. PC-2025-0003-SPR) to allow the construction of a 7,562 square foot warehouse addition to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products subject to the conditions of approval set forth in Section 5 of this Resolution.

SECTION 5. CONDITIONS. The Planning Commission finds that the foregoing conditions of approval are necessary and appropriate.

A. Planning Division Conditions

1. The Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers, and employees from any claim, action, or proceeding brought against the City, its elected and appointed officials, agents, officers, or employees arising out of, or which are related to the Applicant's project or application (collectively referred to as "proceedings"). The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities, and expenses incurred or awarded in connection with the proceedings whether incurred by the Applicant, the City and/or the parties initiating or bringing such proceedings. This indemnity provision shall include the Applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth herein. The City shall have the right to choose its own legal counsel to represent the City's interest in the proceedings.
2. The utilization of the subject site shall conform to the allowed use, except as provided for herein and by subsequent revisions found by the Director of Planning and Community Development ("Director") Department ("Planning Department") to be in substantial compliance with these provisions.

3. Development of the site shall be consistent with all of the provisions of the Montebello Municipal Code (“MMC”) and Conditional Use Permit (“CUP”) (PC-2025-0003-SPR), and the specifications of the Planning Department.
4. Within thirty (30) days of the Planning Division transmittal of the Acceptance Form, the Applicant shall sign and return a copy of the Acceptance Form, agreeing to the conditions of approval and acknowledging that failure to comply with such conditions shall constitute grounds for potential revocation of the permit approval. Failure to return the Acceptance Form within thirty (30) days shall constitute grounds for terminating the permit.
5. In the event the Applicant violates or fails to comply with any conditions of approval of this permit, no further permits, licenses, approvals, or certificate of occupancy shall be issued until such violation(s) have been fully remedied.
6. No signs shall be installed on the site until a sign permit has been approved by the Planning Department and Building & Safety Division in conformance with the provisions set forth in [Chapter 17.62](#) (“Signs”) of the MMC and the provisions set forth in the SPR.
7. The approval of the entitlement shall expire if the rights granted are not exercised within one (1) year from the SPR’s effective date. Exercise of right shall mean issuance of a building permit to commence construction or similar activities demonstrating the intent to proceed with the project, as determined by the director.
8. The Director, at any time, can call for a review of the approved conditions of approval at a duly noticed public hearing before the Planning Commission. These condition(s) may be modified, or new condition(s) added to reduce any impacts of the use (Case No. PC-2025-0003-SPR).
9. The Applicant or successor in interest shall meet the applicable code requirements and all other City Department regulations.
10. All applicable conditions of approval from previous entitlements on the property shall remain in full force and effect, unless otherwise specifically noted in this Resolution.
11. The property owner will bear the full costs of all monitoring and inspection activities to be conducted by City staff, or its designated representative(s), as necessary to ensure compliance with the conditions of this Resolution.
12. Any change, expansion, intensification and/or modification to the proposed plans use, or mode of operations shall be subject to the review and approval

by the Director who may take action or call for review by the Planning Commission at a noticed public hearing.

13. This approval shall not supersede the approval of any other responsible agencies. The Applicant shall comply with all Federal, State and local laws.
14. The approval of this SPR (Case No. PC-2025-0003-SPR) can be extended up to and not to exceed an additional two (2) years with a written request by the property owner thirty (30) days prior to the expiration date stating the reason and need for an extension and upon review and approval by the Director.
15. In the event of a violation of the conditions of approval, no further permits, licenses, approvals or certificates of occupancy shall be issued until such violation has been fully remedied.
16. The development and utilization of the site shall comply with all the provisions of all of the current Building, Plumbing, Mechanical, Electrical Codes, and City Ordinances, as well as additional requirements from the Montebello Building and Safety Division.
17. The development and utilization of the site shall be subject to the review and approval of the Public Works Department. Additional Montebello Public Works Department requirements may be required prior to issuing building permits.
18. The development and utilization of the site shall comply with all the provisions of all of the California Fire Code, International Fire Code, and National Fire Protection Association standards as well as additional requirements from the Montebello Fire Department.
19. **Modification to Plans.** Subsequent modification to this approval, which do not intensify the use, including but not limited to reorientation of structures, alteration of parking and circulation design, minor changes to the Conditions of Approval, interpretations of the Conditions of Approval relative to intent, necessity of, and timing, may be approved by the Director within a 25% deviation, unless the Director requires a Substantial Conformance or revised Permit application in accordance with the City Development Code.
20. The Applicant shall contact the Planning Division to arrange a Planning Inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
21. The Applicant shall submit detailed landscape and irrigation plans prepared by a licensed Landscape Architect, which meet the requirements set forth in

MMC shall be required as a part of the project Plan Check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to the issuance of building permits.

22. A copy of the approved Resolution shall be attached to the construction plans for any site improvement at the submittal of plans for plan check.
23. It is the responsibility of the property owner to have all graffiti on the site removed within twenty-four (24) hours of its appearance or be subject to citation from the City Code Enforcement Division.
24. All improvements to the subject property shall be in compliance with all City Ordinances.
25. The hours of construction shall be 7:00 a.m. to 8:00 p.m., Monday through Friday, and weekends and holidays 9:00 a.m. to 6:00 p.m. as restricted by the MMC Section 9.08.050.
26. The street shall be swept at the end of the day if visible soil material is carried onto adjacent public paved roads.
27. The guest parking spaces shall be posted and striped with double lines spaced six (6) inches apart and shall comply with the City's off-street parking requirements as per MMC Section 17.52.070. Such striping shall be shown on the plans submitted for plan check.
28. Any parking space that fronts a building wall or fence with no separation between the front end of the parking space and the wall or fence, shall be provided with a concrete wheel stop or curb barrier not less than two (2) feet from such wall or fence property line. Such wheel stop or curb barrier shall be securely installed and maintained.
29. The specifications of the Montebello Public Works Department and the Engineering Division shall be complied with:

The Applicant will continue to work with the Public Works Department and Engineering Division to finalize the certification of the Lot Tie and will, upon request, provide the Public Works Department with any additional information or documentation required.

30. The landscape plan shall conform to the MMC requirements. Shrubs shall not be less than three (3) feet in height when planted and cover not less than thirty (30) percent of the landscaped area. All landscaping shall cover the designated planting areas from the outset.

31. All trees shall be at least twenty-four-inch (24") box or equivalent.
32. All landscape planters shall be surrounded by a six (6) inch concrete curb.
33. A trash enclosure shall be constructed of decorative masonry block or masonry block with decorative finish, such as stucco, and view-obscuring doors that are compatible with the main building, subject to the final review and approval of the Planning Department. The applicant shall reflect this requirement on the plans submitted for plan check.
34. All existing and proposed utilities (Gas, Electricity, Communications, etc.) shall be placed underground. The applicant shall reflect this requirement on plans submitted for "Plan Check".
35. All outdoor utilities or machinery located outside the exterior walls, including roof-mounted equipment, shall be completely screened from view from any public right-of-way or adjacent residential use by either view obscuring landscaping or architectural features of the main building (i.e. parapet walls, façade extension, etc.), subject to the final review and approval of the Planning Department.
36. Any inevitable exposed wires shall be neatly bolted and painted to match the building color.
37. The exterior of all structures and walls shall be a neutral color scheme and shall be consistent with the provisions of the Color Ordinance of the City of Montebello, subject to the review and approval of the Planning Department.
38. Any substantial change or modification to the proposed site plan shall be subject to review and approval by the Planning Commission.

B. Building Division Conditions

1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
2. Plans prepared in compliance with the current Building Code shall be submitted to Building Division for review prior permit issuance.
3. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
4. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.

5. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a) Observation of cleared areas and benches prepared to receive fill;
 - b) Observation of the removal of all unsuitable soils and other materials;
 - c) The approval of soils to be used as fill material;
 - d) Inspection of compaction and placement of fill;
 - e) The testing of compacted fills; and
 - f) The inspection of review of drainage devices.
6. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by other soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the City, a new Preliminary Soils and/or Geotechnical Investigation.
7. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
8. Stormwater Planning Program LID Plan Checklist (MS4-1 FORM) completed by Engineer of Record shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans. The form can be found at the following link <https://www.dropbox.com/scl/fi/xliqonam5j4jro5oklnw4/MS4-Permit-LID-Determination-Form.pdf?rlkey=Zr7tu632u2staheexj6vqvxxvg&dl=0>
9. All State of California disability access regulations for accessibility shall be complied with.
10. Summary of Accessibility Upgrades for Commercial Projects shall be completed, and the completed form shall be copied on the plans The form can be found at the following link <https://www.dropbox.com/s/4xkjyn5fhggpotk/Accessibility%20Upgrade%20Summary%20Form.pdf?dl=0>
11. Foundation inspection will not be made until setback of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.

12. Separate application and plan review is required for Electrical plans.
13. Separate application and plan review is required for Mechanical plans.
14. Separate application and plan review is required for Plumbing plans.
15. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
16. Project shall comply with the CalGreen Non-Residential mandatory requirements.
17. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site per Section 5.410.1.1 of the CalGreen Code.
18. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
19. Demolition permit is required for any existing buildings which are to be demolished.
20. Buildings that contain more than two dwelling units shall be classified as R-2 Group Occupancy.
21. Fire-resistance rating requirements for exterior walls based on fire separation distance of 0 to 5 feet shall comply with Table 705.5 of the Building Code.
22. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet shall comply with Table 705.8 of the Building Code.
23. Unless a Fire Wall is constructed between the existing and new building per Section 706 of the Building Code, the new building shall be constructed of the same type of construction as that of the existing and be considered as an addition to the existing building.
24. Occupancy separation from the addition, which is classified as Storage Group S-1 Occupancy is required if the existing portion of the building is classified as Factory Group F-2 per Section 508.4 of the Building Code.
25. Prior to the issuance of building permit, a written consent shall be obtained from the current easement holder(s) for any proposed development encroaching into existing easement(s).

26. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.

27. Separate permit is required for Fire Sprinklers.

1. The following on-site requirements of the MMC and/or the specifications of the Fire Department:
2. Fire/Life Safety systems to comply with 2019 Edition California Fire Code.
3. Commercial Hood Suppression systems to be inspected by a licensed fire protection contractor and inspection report submitted to Montebello Fire Department.
4. Provide a Knox Box in approved location.

C. Fire Department Comments

1. Fire Sprinkler underground based on 2022 Edition California Fire Code and NFPA 13/24.
2. Fire Sprinkler overhead based on 2022 Edition California Fire Code and NFPA 13.
3. Fire Sprinkler monitoring based on 2022 Edition California Fire Code and NFPA 72.
4. Provide dimensions of new fire access road on the property and show turnaround.
5. Project to meet all applicable sections of 2022 Edition California Fire Code.

PASSED AND ADOPTED this 6th day of May, 2025, by the Planning Commission.

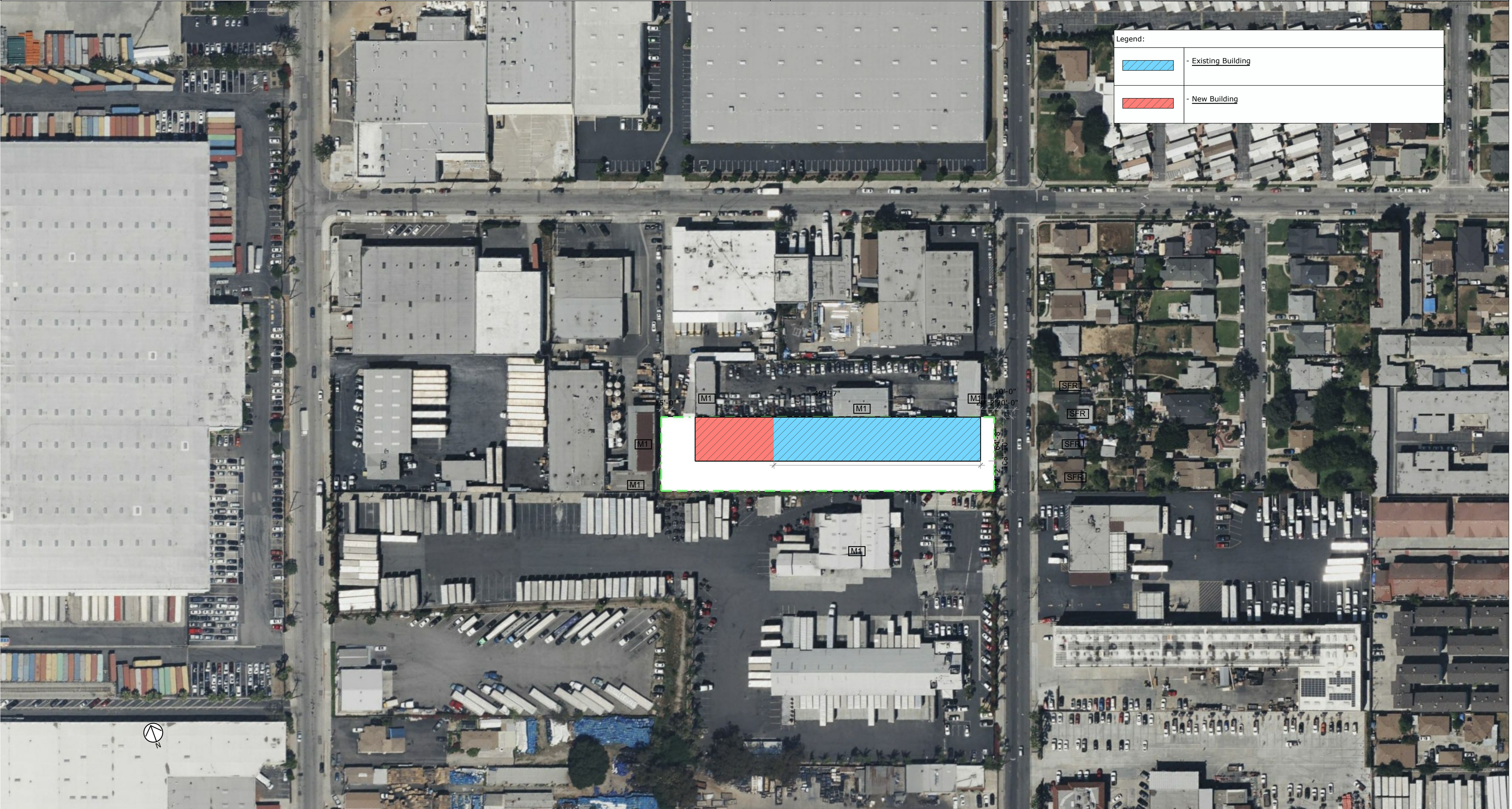
Commissioner Lopez: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
Commissioner Cuevas: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
Commissioner Morales: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
Commissioner Lomeli: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN
Chair Medina: ☐ AYE ☐ NOE ☐ ABSENT ☐ ABSTAIN

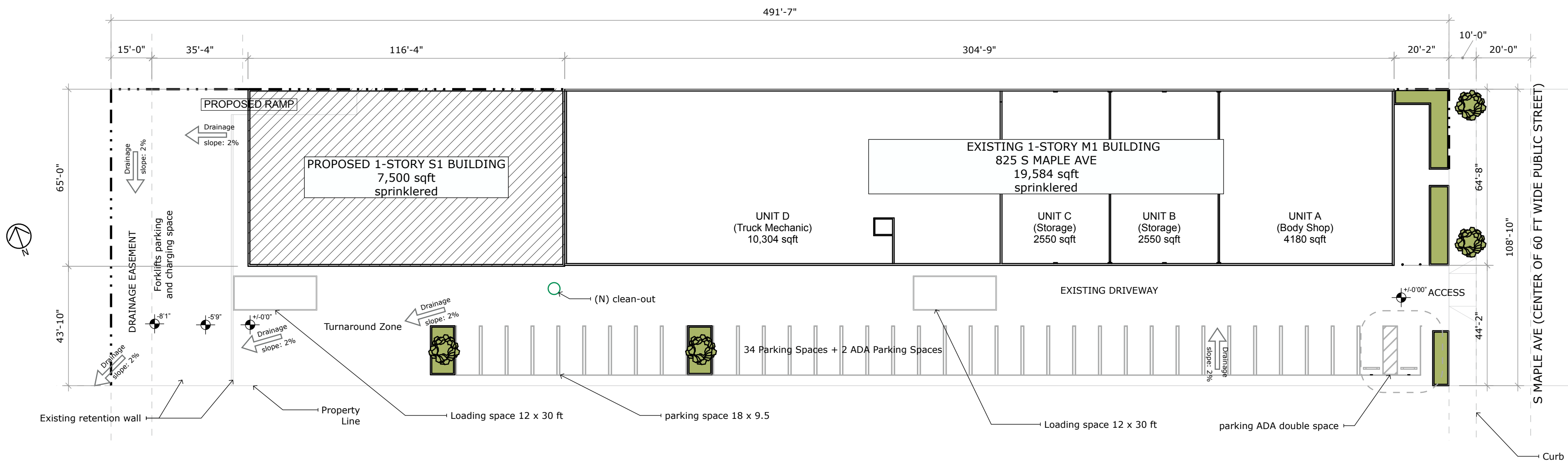
Armando Medina, Chair

ATTEST:

Joseph A. Palombi, Director
Planning & Community Development Department

Construction of 7,562 sqft storage building. 825 S Maple Ave, Montebello CA 90640																																							
-1- <u>Project Location:</u> - Address: 825 S Maple Ave, Montebello CA 90640 - APN: 6353-013-015 - Legal Description: EL CARMEL TRACT SW 109.245 FT OF NE 407.245 FT EX OF ST OF LOT 16 - Year built:1978 - Authority: City of Montebello - Zoning: M1 (Light Manufacturing) - Is Project located in a Fault Zone: No - Is Project located in a Fire Hazard Severity Zone: No - Is Project located in a Flood Area:No - Is Project located in a Slope Area:No - Is any slope on Project lot over 3:1: No - Climate zone (DOE):zone 9 as per California Energy Commission - Are there easements on parcel: 15 ft easement on East side of lot for water drainage	-2- <u>Project Description:</u> <u>Scope of work:</u> Construction of 7,562 sqft (116'-4" x 65'-0") storage building next to existing M1 building. Demolition of an existing canopy. <u>Construction Type:</u> III-A (concrete block walls) <u>Occupancy Type:</u> S-1 Storage, moderate hazard <u>Sprinklers:</u> Sprinklered <u>Applicable Codes:</u> All work to be performed in accordance with latest applicable California Codes (including 2022 CRC, CBC, CMC, CPC, CEC, CGB, 2022 California Fire Code and 2022 California Energy Standards), the City of Montebello Municipal Code, AND IN A PROFESSIONAL MANNER <u>Deferred Submittals:</u> PV Solar: a min. xkW system will be installed as per CF1R	-3- <u>Areas, Calculations and Ratios:</u> - Lot: 53,744 sqft - Existing Building: 19,584 sqft - New Construction: 7,500 sqft Ratios as per Montebello Municipal Code, zone M1 (17-32 section): - <u>Floor area / Lot area:</u> (19,584 + 7,500) / 53,744 = 0.50 (under 3 required, as per 17-32-120) - <u>Height:</u> 1 Story. 32'0" from ground to roof peak (no limit in M1 except 35 ft if abutting R zone) - <u>Setbacks:</u> Side: 0 ft required (no windows nor doors); Front: 20 ft required (abutting R zone); Rear: 5 ft - <u>Parking:</u> Number of spaces: 1 per each 750 sqft of (existing) manufacturing space + 1 per each (new) sqft of warehousing space: 19.600 /750) + (7.500 / 1.000) = 34. Minimum size 8.5 ft x 18 ft, 6" separation. Number of ADA parking spaces required: 2 (as per ADA rules for 26-50 space parking). Loading spaces required: 1 for 6-10k sqft NEW construction, minimum size 12 ft L x 30 ft W x 15 ft H - <u>Landscaping:</u> 5% of parking area landscaped. 5 ft wide landscaping between parking & street. 1 tree per 20 linear foot of landscaping. All areas not used for parking / access /loading are landscaped. Landscape and Irrigation plan included.	<table><tr><th colspan="2">SHEET NUMBER</th><th colspan="2">SHEET NAME</th></tr><tr><td>Sheet 001</td><td>G1 - Title, Location</td><td colspan="2"></td></tr><tr><td>Sheet 002</td><td>G2 - Site Plan</td><td colspan="2"></td></tr><tr><td>Sheet 003</td><td>G3 - Proposed State: View from SE</td><td colspan="2"></td></tr><tr><td>Sheet 004</td><td>G4 - Existing, Demo, buildings adjacent lots</td><td colspan="2"></td></tr><tr><td>Sheet 005</td><td>A1 - Plan</td><td colspan="2"></td></tr><tr><td>Sheet 006</td><td>A2 - Elevations</td><td colspan="2"></td></tr><tr><td>Sheet 007</td><td>ALTA / NSPS Land Title Survey p1</td><td colspan="2"></td></tr><tr><td colspan="4"></td></tr></table>	SHEET NUMBER		SHEET NAME		Sheet 001	G1 - Title, Location			Sheet 002	G2 - Site Plan			Sheet 003	G3 - Proposed State: View from SE			Sheet 004	G4 - Existing, Demo, buildings adjacent lots			Sheet 005	A1 - Plan			Sheet 006	A2 - Elevations			Sheet 007	ALTA / NSPS Land Title Survey p1						
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0 Plot Plan Proposed
Scale: 1" = 30'

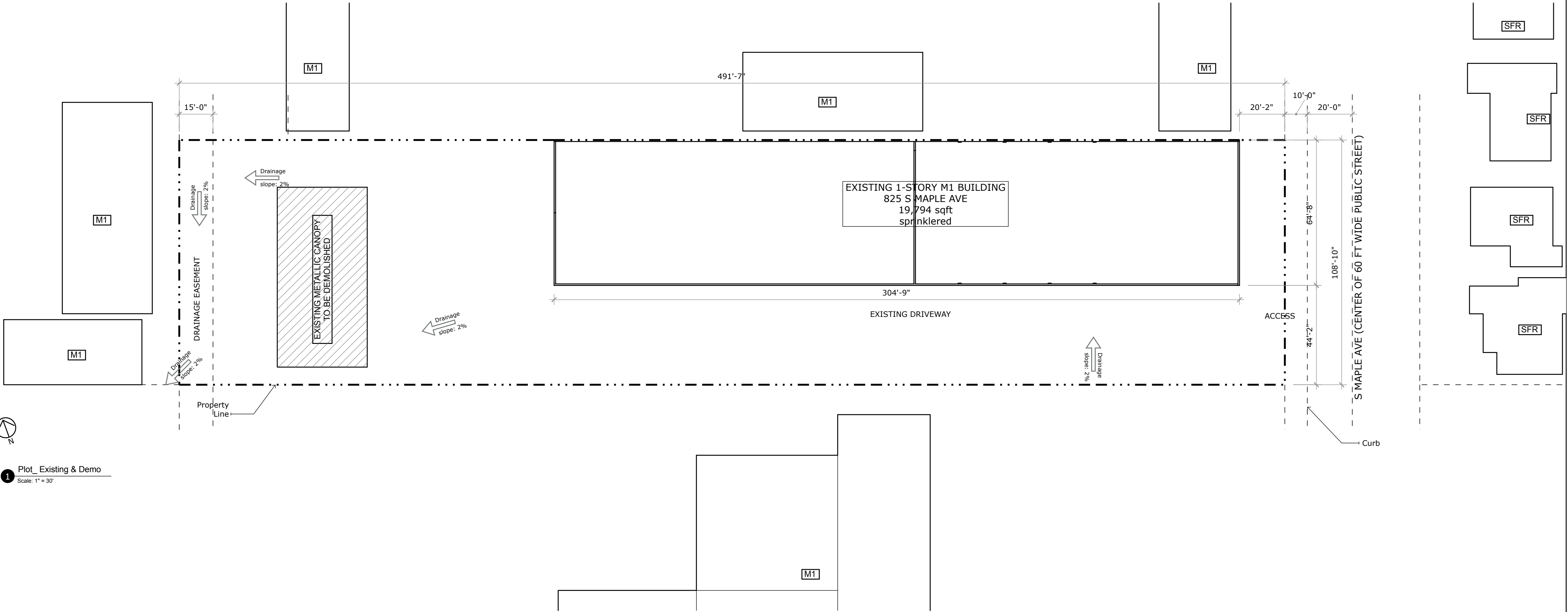
Notes on Utilities and Underground lines construction:

- **Electrical**: Separate Meter: Install new 480 volts 200 Amp. panel and meter to be connected to utility by underground conduit. Check with Utility company before confirming location of new meter
- **Water**: Joint Meter: new building water line to be connected to existing building water line within the bounds of the property, between street meter and existing building's pressure regulator . A new pressure regulator and shut-off valve will be installed on the outside wall of the new building. Use 3/4" copper pipe or match existing size & material.
- **Sewer**: ADU sewer line to be connected to existing building sewer line within the bounds of the property. A new clean-out will be installed at the point of connection. Use 4" ABS pipe.



Legend:

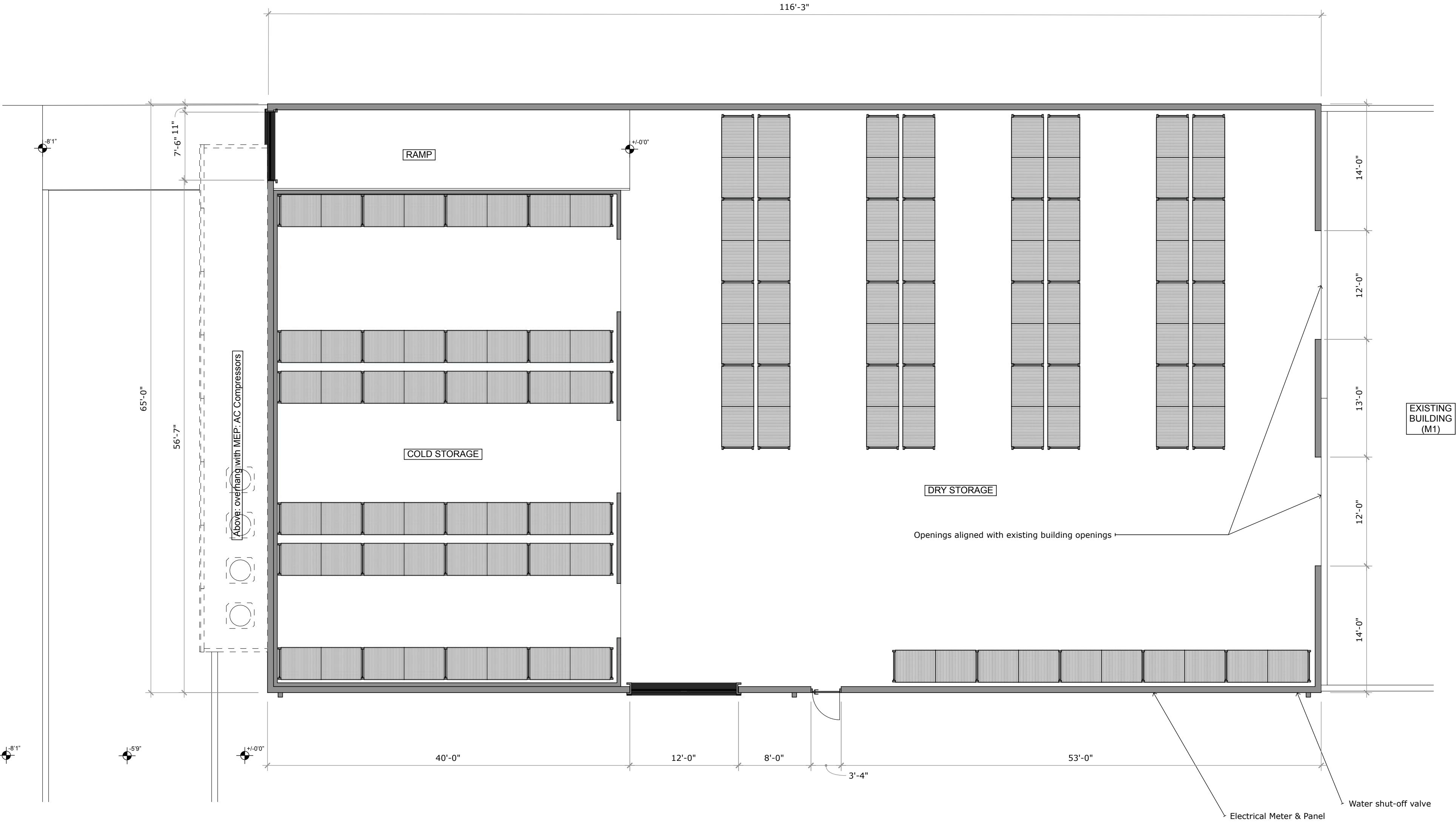
- Demolition

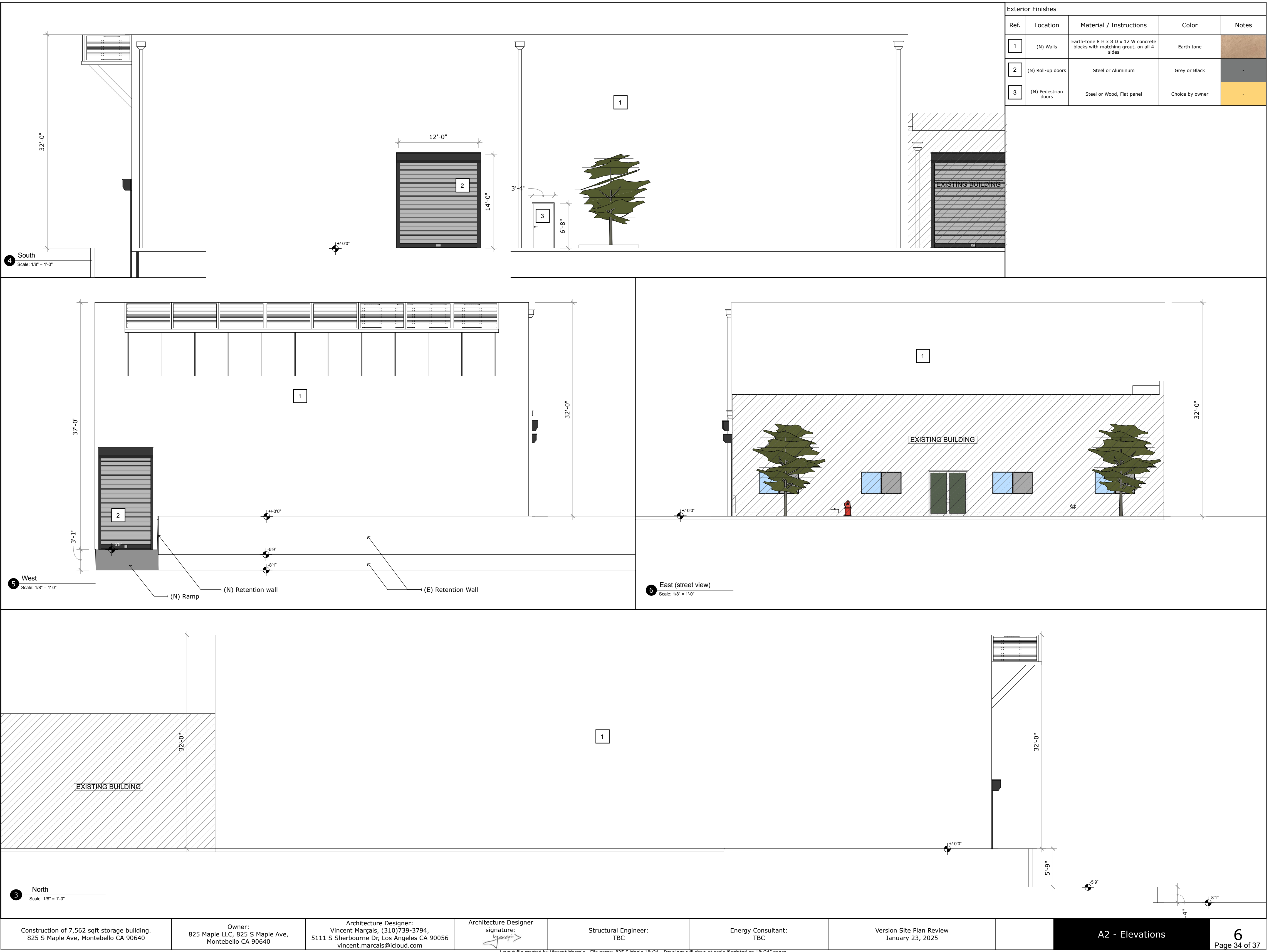


Plot_ Existing & Demo

Scale: 1" = 30'

Wall Legend:	
	- Exterior Walls: Concrete Block (12" W x 8" H x 16" L) exterior walls 2x4 Interior Walls.





Exterior Finishes				
Ref.	Location	Material / Instructions	Color	Notes
1	(N) Walls	Earth-tone 8 H x 8 D x 12 W concrete blocks with matching grout, on all 4 sides	Earth tone	
2	(N) Roll-up doors	Steel or Aluminum	Grey or Black	
3	(N) Pedestrian doors	Steel or Wood, Flat panel	Choice by owner	

ZONING INFORMATION

ZONING INFORMATION NOT PROVIDED

BUILDING AREA

19,794 SQ FT

LAND AREA

53,760 SQ FT / 1.23 ACRE

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS THE CENTERLINE OF WASHINGTON BOULEVARD AS DEPICTED ON RECORD OF SURVEY FILED IN BOOK 311, PAGE 76 OF RECORDS OF SURVEY, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.

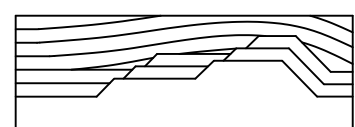
BEARING BEING: N 63° 38' 08" W

FLOOD NOTE

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 06037C1663F HAVING AN EFFECTIVE DATE OF 09/26/2008, IN RIVERSIDE COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

ZONE "X" DENOTES AREA OF MINIMAL FLOOD HAZARD

SURVEYOR



SITETECH INC.

8061 CHURCH STREET, (PO BOX 592) HIGHLAND, CA 92346
PH: (909) 864-3180 FAX: (909) 864-0850
E-mail: jmayer@sitetechinc.com

GENERAL NOTES

1. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
2. NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
3. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
4. THE PROPERTY HAS DIRECT PHYSICAL STREET ACCESS TO MAPLE AVENUE, BEING A PUBLIC DEDICATED STREET.
5. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDE, AND ENCROACHMENTS; ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
6. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA.
7. THE SUBJECT PROPERTY CLOSES MATHEMATICALLY, WITH NO GAPS, GORES OR OVERLAPS.
8. BEARINGS AND DISTANCE ARE RECORD AND MEASURED UNLESS SPECIFICALLY NOTED OTHERWISE.

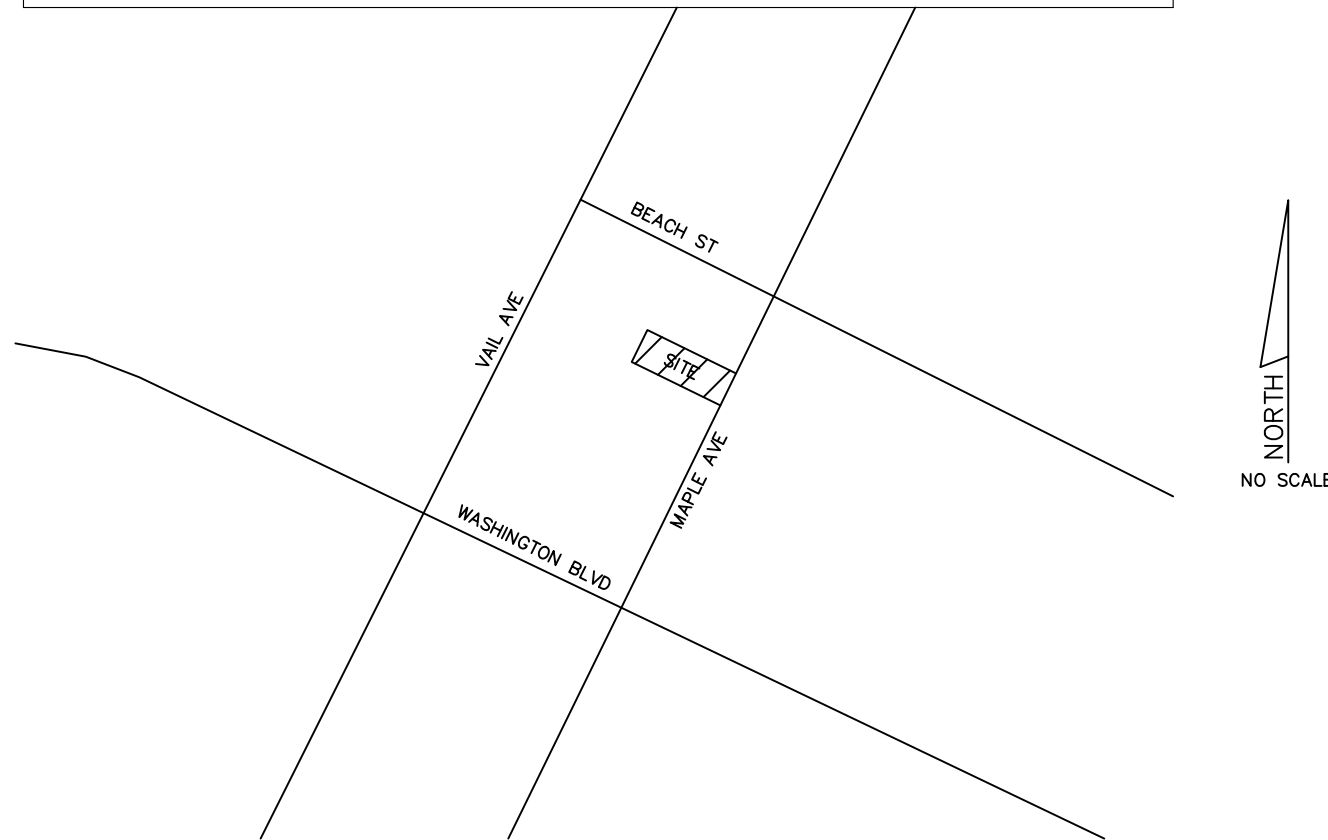
STATEMENT OF ENCROACHMENTS

- ⚠ WALL ENCROACHES INTO SUBJECT PROPERTY BY 0.2'
- ⚠ FENCE ENCROACHES INTO SUBJECT PROPERTY BY 1.4'

PARKING SPACE COUNT

REGULAR STALLS: 14
HANDICAP STALLS: 1
TOTAL STALLS: 15

VICINITY MAP



SCHEDULE B-II NOTES

ITEMS 1 THROUGH 9 ARE NON-SURVEY RELATED - NOT PLOTTED

10. EASEMENT FOR PIPELINES RECORDED ON MAY 7, 1901 IN BOOK 1446, PAGE 210 OF DEEDS - LOCATION COULD NOT BE DETERMINED - NOT PLOTTED
11. EASEMENT FOR ROAD RECORDED ON MARCH 27, 1906 IN BOOK 1446, PAGE 210 OF DEEDS - LOCATION COULD NOT BE DETERMINED - NOT PLOTTED
12. EASEMENT FOR PUBLIC HIGHWAY RECORDED ON MAY 18, 1914 IN BOOK 15, PAGE 81 OF RECORDS OF BOARD OF SUPERVISORS - DOCUMENT NOT PROVIDED - NOT PLOTTED
13. EASEMENT FOR STORM DRAIN RECORDED ON NOVEMBER 20, 1967 AS INSTRUMENT NO. 1967-2514 OF OFFICIAL RECORDS - PLOTTED HEREON

RECORD DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, CITY OF MONTEBELLO AND DESCRIBED AS FOLLOWS:

THE NORTH HALF OF LOT 16 OF EL CARMEL TRACT, AS PER MAP RECORDED IN BOOK 7, PAGES 134 AND 135 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THERE FROM THE NORTHEASTERLY 298 FEET.

ALSO EXCEPTING THEREFROM THE EASTERLY 20 FEET OF SAID LAND INCLUDED WITH IN THE LIMITS OF MAPLE AVENUE, DECLARED TO BE A PUBLIC HIGHWAY, BY ORDER OF THE BOARD OF SUPERVISORS OF SAID COUNTY, RECORDED IN BOOK 15, PAGE 81, RECORDS OF SAID BOARD.

APN: 6353-013-015

THE PROPERTY DESCRIBED HEREON ABOVE IS THE SAME AS DESCRIBED IN THE STEWART TITLE GUARANTY COMPANY PRELIMINARY REPORT ORDER NO. 24000110503 DATED AS OF SEPTEMBER 30, 2024.

ALTA/NSPS LAND TITLE SURVEY

SURVEYOR CERTIFICATION
825 S MAPLE AVENUE
MONTEBELLO

COUNTY OF LOS ANGELES

To: Stewart Title Guaranty Company; 825 Maple LLC for Vanik Elchibegian:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on June 3, 2022.

BERNHARD K. MAYER

Registration No. P.L.S. 7319

In the State of: California

Date of Plat or Map: 12/05/2024

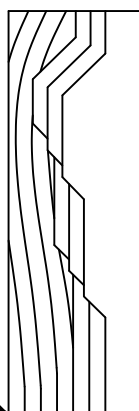
Date of Revision:



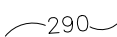
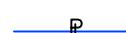
SITETECH, INC.

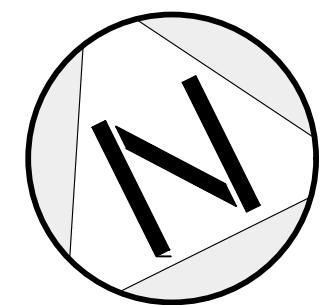
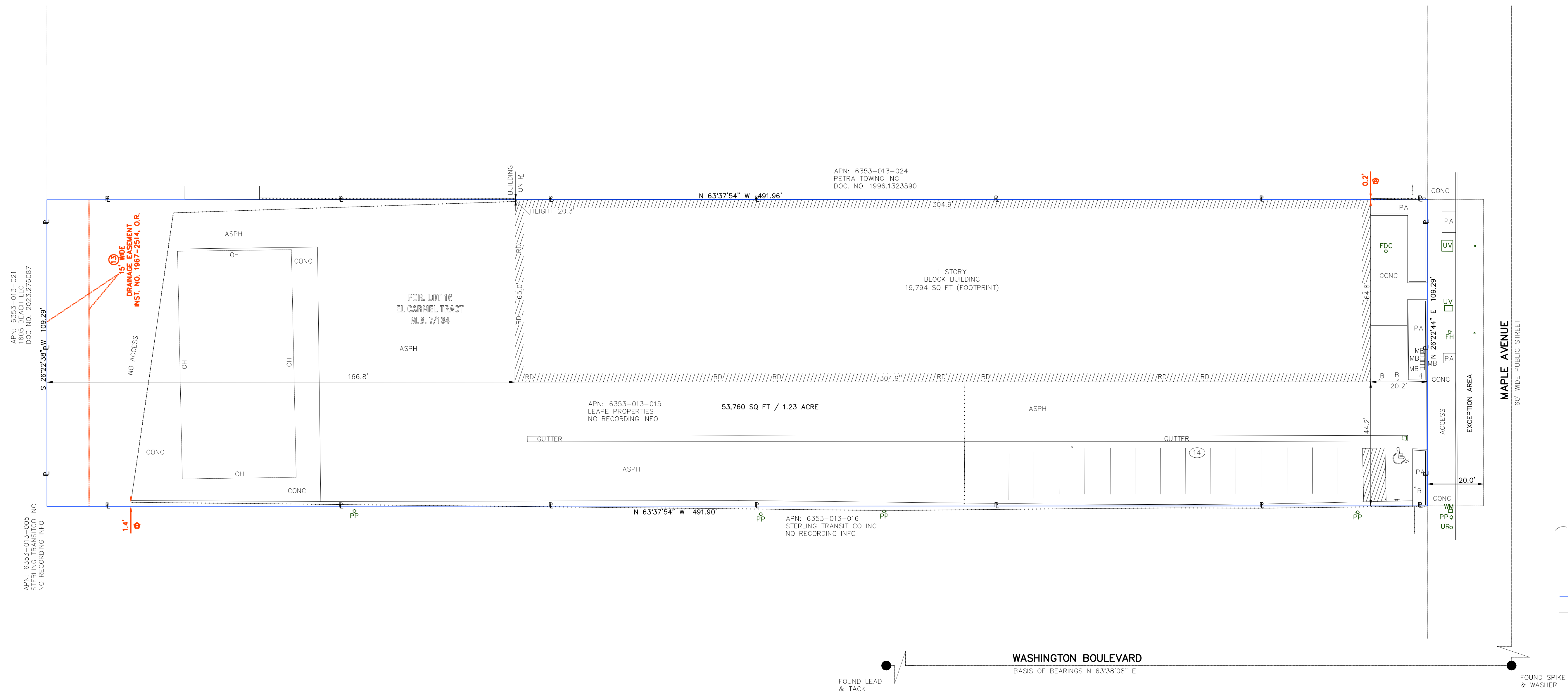
Phone: (909) 864-3180 Fax: (909) 864-0850

8061 CHURCH STREET (MAIL: PO BOX 592) HIGHLAND, CA 92346 Sheet 1 of 2



LEGEND OF SYMBOLS

	APN	ASSESSOR'S PARCEL NUMBER
	ASPH	ASPHALT
	A/W	AIR & WATER PUMP
	BFP	BACK FLOW PREVENTION DEVICE
	COL	COLUMN
	CONC	CONCRETE
	EM	ELECTRICAL METER
	EV	ELECTRICAL VAULT
	FF	FINISHED FLOOR
	FS	FINISHED SURFACE
	FS	FSOWLINE
	FDC	FIRE DEPARTMENT CONNECTION
	FH	FIRE HYDRANT
	GM	GAS METER
	INT	INTERCEPTOR MANHOLE
	LS	LIGHT STANDA
	PA	PLANTER AREA
	PB	PACIFIC BELL MANHOLE
	PID	STORM DRAIN MANHOLE
	RD	ROLDDOOR
	SCO	SEWER CLEANOUT
	SD	STORM DRAIN
	SL	STREET LIGHT
	SLV	STREET LIGHT VAULT
	S	SEWER MANHOLE
	SN	SIGN
	T	TELEPHONE RISER
	TC	TOP OF CURB
	TG	TOP OF GRATE
	TE	TRASH ENCLOSURE
	TR	ELECTRICAL TRANSFORMER
	TSV	TRAFFIC SIGNAL VAULT
	UR	UTILITY RISER
	UT	UTILITY CABINET
	UV	UTILITY VAULT
	WM	WATER METER
	WV	WATER VALVE
		BLOCK WALL - TYPICAL
	290	CONTOUR LINES
		TREE - DECIDUOUS
		TREE - PALM
		PROPERTY LINE
		ZONE LINES



SCALE: 1"=20



SISTECH, INC.
Phone: (909) 864-3180 Fax: (909) 864-0850
3001 CLEVELAND STREET (MAIL ROOM 500) FULLERTON, CA 92631

Phone: (909) 864-3180 Fax: (909) 864-0850
8061 CHURCH STREET (MAIL: PO BOX 592) HIGHLAND, CA 92346

SITECH INC.

Notice of CEQA Exemption

To:

County of Los Angeles
Registrar-Recorder/County Clerk
12400 Imperial Highway
Norwalk, CA 90650

From:

City of Montebello
Planning & Community Development Department
1600 W. Beverly Blvd.
Montebello, CA 90640

Lead Agency: City of Montebello Planning and Community Development Department

Project Title: Site Plan Review

Project Location: 825 S. Maple, Montebello, CA 90640

Case Number(s): PC-2025-0003-SPR/ENV No. 06-25-CE

Description of Nature, Purpose, and Beneficiaries of Project: A Site Plan Review (“SPR”) Case No. PC-2025-0003-SPR to allow the construction of a 7,562 square foot warehouse addition to an existing 19,584 square foot building that will be utilized for storage of dry and frozen food products for the property located at 825 S. Maple Avenue (collectively “the property”).

Name of the Public Agency Approving the Project: City of Montebello

Name of Person or Agency Carrying Out the Project: Vincent Marcais, (“Applicant”)

Exempt Status (*check one*)

- ☐ Ministerial (Sec. 21080(b)(1); 15268(b)(3))
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: Class 32- CEQA Guidelines Section 15301 (In-Fill Development)
☐ Statutory Exemptions. State code number:

Justification for Project Exemption:

The Project is Categorically Exempt per CEQA Guidelines §15332 - Class 32 (In-Fill Development). Class 32 exemption is intended to promote infill development within urbanized areas. The class consists of environmentally benign infill projects which are consistent with local general plan and zoning requirements. This class is not intended to be applied to projects which would result in any significant traffic, noise, air quality, or water quality effects.

Lead Agency Contact Person: Joseph A. Palombi, Director of Planning & Community Development

Area Code/Telephone/Extension: (323) 887-1200

If filed by applicant, attach certified document issued by the Planning and Community Development Department stating that the Department has found the project to be exempt.

Signature: _____ **Date:** _____ **Title:** _____

☒ Signed by Lead Agency

☐ Signed by Applicant