



**PLANNING COMMISSION
MEETING AGENDA**

TUESDAY, NOVEMBER 4, 2025 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

PLANNING COMMISSION MEMBERS

**ARMANDO MEDINA, CHAIR
NATALIA LOMELI, VICE CHAIR
VICTOR CUEVAS, PLANNING COMMISSIONER
ALICIA MORALES, PLANNING COMMISSIONER
NOAH LOPEZ, PLANNING COMMISSIONER**

CITY STAFF

**JOSEPH PALOMBI, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
VIVIANA ESPARZA, PLANNING MANAGER
JILLIAN PICADO, SENIOR ADMINISTRATIVE ASSISTANT**

NOTICES

This Planning Commission Meeting will be held in person and will meet at **City Hall – City Council Chambers, 1600 West Beverly Boulevard, Montebello, California**. The meeting will be live streamed and can be watched on the City's website and YouTube Channel via the following link: <https://www.montebelloca.gov>, and may also be viewed on Spectrum Public Access Channel 3 for all Spectrum cable subscribers.

AMERICANS WITH DISABILITIES ACT: In compliance with the Americans with Disabilities Act (ADA) any person with a disability who requires special accommodations in order to participate in a meeting should contact **Jillian Picado** at (323) 887-1218 Monday-Thursday from 7:30 a.m.-5:30 p.m. Please call 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II 1203). If you require translation services, please contact us 24 hours before this meeting.

PUBLIC COMMENTS:

In-Person: For those interested in participating during the Public Comment period(s) or public testimony period for Public Hearings of the Planning Commission meetings, you may address the Planning Commission in person the day of the meeting. Speakers will be required to complete a speaker card provided at the door and submit it to **Jillian Picado** prior to each Public Comment announcement period. Staff will number and call each speaker card in the order received.

Via Email: The public may also submit emailed comments via the following email address: pcpubliccomment@montebelloca.gov up until the day of the meeting, **Tuesday, November 04, 2025 by 6:00 p.m.** These comments will be submitted to all members of the Planning Commission and will not be read aloud, but will be entered into the record of the proceedings to the extent they relate to matters listed on the posted agenda or otherwise address matters/issues within the subject matter jurisdiction of the Planning Commission. Any requests to provide public comment which is submitted after the deadlines indicated above will not be submitted to the Planning Commission, with the exception of non-agenda written item comments, which will be held over for the next regularly scheduled meeting.

RULES OF DECORUM:

Pursuant to Section 54957.95 of the Government Code, the presiding member of the legislative body conducting a meeting, or their designee, is authorized to remove, or cause the removal of, an individual for disrupting the meeting. Any such removal will be preceded by a warning to the disruptive individual by the presiding member of the legislative body or their designee that the individual's behavior is disrupting the meeting and that the individual's failure to promptly cease their disruptive behavior may result in their removal.

AGENDA MATERIALS: The agenda and agenda packet related to items on this agenda are available for public inspection at City's website at: [Agendas, Minutes, and Videos](#),

IN CONSIDERATION OF OTHERS, PLEASE TURN OFF, OR MUTE, ALL CELL PHONES AND PAGERS
THANK YOU FOR YOUR COOPERATION

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

CORRECTIONS TO THE AGENDA

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS

MINUTES

1. APPROVAL OF PLANNING COMMISSION MINUTES – OCTOBER 07, 2025.

PUBLIC HEARING

2. CONDITIONAL USE PERMIT (“CUP”) CASE NO. PC-2025-0006-CUP FOR THE PROPOSED OPERATION OF AN INTERIM HOUSING FACILITY WITHIN AN EXISTING MULTI-FAMILY RESIDENTIAL PROPERTY LOCATED AT 2645 WEST VIA CORONA, MONTEBELLO, CALIFORNIA 90640 (“PROJECT SITE”)

RECOMMENDATION: It is recommended that the Planning Commission conduct a public hearing and take the following action:

1. ADOPT Resolution No. 10-25 denying the Conditional Use Permit request to allow the operation of an interim housing facility within an existing multi-family residential property located at 2645 W. Via Corona, Montebello, CA, 90640, based on staff's findings that the project site's close proximity to sensitive land uses including, but not limited to, an existing public park and playground causing the proposed interim housing facility to be incompatible with adjacent sensitive land uses, which does not support the City's objectives for maintaining neighborhood quality of life, public safety, and the protection of community-serving recreational spaces, and is inconsistent with the goals and policies of the Montebello General Plan; and
2. DETERMINE and FIND that the project is statutorily exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15270 (Projects Which Are Disapproved), if the project is denied.

PLANNING COMMISSION ORALS

Planning Commission member announcements; requests for future agenda items; conference/meetings reports.

ADJOURNMENT

The City of Montebello Planning Commission will adjourn to the next Regular Meeting on **November 18, 2025, at 6:30 p.m.** at City Hall Council Chambers located at 1600 W. Beverly Boulevard, Montebello, CA 90640.

I, **Jillian Picado, Senior Administrative Assistant** for the City of Montebello, hereby certify that a copy of this agenda

has been posted on or before **Thursday, October 30, 2025 5:30 p.m.**

A handwritten signature in black ink, consisting of a large, stylized 'S' followed by a smaller 'A' and a few loops.

Senior Administrative Assistant



CITY OF MONTEBELLO

PLANNING COMMISSION MEETING AGENDA

MINUTES

TUESDAY, OCTOBER 7, 2025 AT 6:30 PM

**CITY HALL COUNCIL CHAMBERS
1600 WEST BEVERLY BOULEVARD
MONTEBELLO, CALIFORNIA**

CALL TO ORDER – Chair Medina called the meeting to order at 6:34 p.m.

ROLL CALL – Chair Medina, Vice-Chair Lomeli, Commissioner Morales, and Commissioner Lopez. The record shall reflect that Commissioner Cuevas arrived late.

PLEDGE OF ALLEGIANCE – Chair Medina.

CORRECTIONS TO THE AGENDA – None.

PUBLIC COMMENTS (30 MINUTES)

At this time, the general public may address the Commission/Committee on any items listed on the Agenda, including items not listed on the Agenda (Non-Agenda Items) that are within subject matter jurisdiction. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per person. State Law prohibits the Commission/ Committee from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Chairperson.

STAFF COMMUNICATIONS – None.

MINUTES

1. **Approval of the Minutes from the Planning Commission meeting held on August 5, 2025.**

Commissioner Morales motioned to approve the meeting minutes and was Seconded by Commissioner Lomeli. Planning Manager, Viviana Esparza took roll, and the item was approved 4-0.

PUBLIC HEARING

2. **CONDITIONAL USE PERMIT (“CUP”) TO ALLOW THE ESTABLISHMENT AND OPERATION OF A PRIVATE ART GALLERY WITHIN THE MONTEBELLO TOWN SQUARE SHOPPING CENTER LOCATED AT 1401 NORTH**

MONTEBELLO BOULEVARD ("PROJECT SITE")

Director Palombi introduced the item. Planning Manager, Viviana Esparza, provided a presentation regarding Conditional Use Permit ("CUP") (Case No. PC-2024-0012-CUP) to the Planning Commission. The Public Hearing was opened at 6:46 p.m. Upon Mrs. Esparza's presentation, the applicant's representative, Berenice Constant, provided a presentation and spoke regarding the project. During the public comment period, there were four (4) speakers, all in support of the project. The Public Hearing was closed at 7:15 p.m. Commissioner Morales motioned to approve the Resolution recommending the approval of the Conditional Use Permit ("CUP") (Case No. PC-2024-0012-CUP). Commissioner Morales' motion was Seconded by Commissioner Cuevas. Planning Manager, Viviana Esparza, took roll and the item was approved 5-0.

MOTIONED: Commissioner Morales

SECONDED: Commissioner Cuevas

APPROVED: 5-0-0-0

AYES: Chair Medina, Vice-Chair Lomeli, Commissioner Cuevas, Commissioner Morales and Commissioner Lopez

NOES: None.

ABSTAIN: None.

ABSENT: None.

PLANNING COMMISSION ORALS - NONE

ADJOURNMENT

The meeting was adjourned at 7:18 p.m. to the next regularly scheduled meeting, that will be held on October 21, 2025.

Joseph Palombi, Planning Commission Secretary



ITEM # 2

**CITY OF MONTEBELLO
PLANNING COMMISSION AGENDA STAFF REPORT**

TO: Members of the Planning Commission

FROM: Joseph Palombi, Planning & Community Development Director

BY: Grace Hayashi, Assistant Planner

SUBJECT: **CONDITIONAL USE PERMIT (“CUP”) CASE NO. PC-2025-0006-CUP FOR THE PROPOSED OPERATION OF AN INTERIM HOUSING FACILITY WITHIN AN EXISTING MULTI-FAMILY RESIDENTIAL PROPERTY LOCATED AT 2645 WEST VIA CORONA, MONTEBELLO, CALIFORNIA 90640 (“PROJECT SITE”)**

DATE: November 4, 2025

RECOMMENDATION(S):

It is recommended that the Planning Commission conduct a public hearing and take the following action:

1. ADOPT Resolution No. 10-25 denying the Conditional Use Permit request to allow the operation of an interim housing facility within an existing multi-family residential property located at 2645 W. Via Corona, Montebello, CA, 90640, based on staff’s findings that the project site’s close proximity to sensitive land uses including, but not limited to, an existing public park and playground causing the proposed interim housing facility to be incompatible with adjacent sensitive land uses, which does not support the City’s objectives for maintaining neighborhood quality of life, public safety, and the protection of community-serving recreational spaces, and is inconsistent with the goals and policies of the Montebello General Plan; and
2. DETERMINE and FIND that the project is statutorily exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15270 (Projects Which Are Disapproved), if the project is denied.

BACKGROUND:

On April 2, 2025, Ms. Mechille Johnson (the “Applicant”) on behalf of Changes 4 Change, Inc. submitted a business license application for a Home Occupation Permit for the property located at 2645 W. Via Corona, Montebello, California 90640. The business license application suggested that it was intended for office use of an interim housing operation, therefore City staff proceeded to approve the Home Occupation Permit and issued a business license on April 14, 2025.

On June 9, 2025, an adjacent property owner filed a complaint with the City’s Code Enforcement Division regarding activities and high foot traffic associated with a reported residential care facility operating at the subject property due to the number of occupants residing on-site. Since that time, the City has received multiple additional complaints concerning the Property (see Attachment D - Code Enforcement Notice of Violation).

On June 9, 2025, Planning Division staff contacted the Applicant and confirmed that the property was housing 15 individuals under a Home Occupation Permit. Staff informed the Applicant that this type of operation is not permitted under a Home Occupation Permit and that a Conditional Use Permit would be required to conduct such a use pursuant to Montebello Municipal Code (“MMC”) Section 17.70 et seq., Appendix A.

On June 10, 2025, Code Enforcement conducted an exterior inspection of the site in response to the code enforcement complaint received and witnessed an unpermitted mesh along the wrought iron fence and 15 separate lockers within the exterior of the subject property for the residents’ personal belongings visible from the public-right-of-way. A notice of violation was issued based on the Code Enforcement Officer’s investigation and findings.

On July 21, 2025, the Applicant filed an application for a proposed Conditional Use Permit (Case No. PC-2025-0006-CUP) to operate an interim housing facility within an existing multi-family residential property to provide temporary residential accommodations and supportive services for up to 15 justice-involved individuals experiencing homelessness.

On July 21, 2025, staff issued a deemed complete letter to the Applicant with the associated case numbers.

On July 23, 2025, the City issued a formal revocation notice to Ms. Johnson for the Home Occupation Permit issued to her on April 2, 2025, by the City of Montebello.

On October 30, 2025, Planning Division staff visited the subject property and toured the surrounding area and observed the adjacent Ashiya Park playground area for children located approximately 46 feet away from the subject site's property line. The park is a designated recreational area and consists of two playground areas for children of all ages. In addition, there are annual school events where students engage in various recreational activities, such as picnics and youth sports at the adjacent Ashiya Park facility. Additionally, the subject property is located 24 feet away from 482 North Garfield

PLANNING COMMISSION AGENDA REPORT - MEETING OF NOVEMBER 4, 2025

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Avenue from property line to property line, which houses Time Banquet Hall and Learn Academy, an organization that provides educational services for students. Staff noted the close proximity to these sensitive uses during the site visit.

PROJECT /APPLICANT INFORMATION

Project Location: 2645 W. Via Corona
Project Applicant: Mechille Johnson (Changes 4 Change Inc.)
Property Owner: DKA Wealth LLC
General Plan Designation: Neighborhood
Zoning: R-3 (multi-family residential)
Existing Use on Property: Residential

PROJECT SITE

The Project Site is comprised of a total lot area of approximately 5,775 square feet (0.13 acres). The surrounding zoning and land uses are listed as follows:

Direction	Zone	Land Use Designation
North	R-3	Neighborhood
South	R-3	Neighborhood
East	R-3	Neighborhood
West	R-1	Park

ENVIRONMENTAL:

Pursuant to the provisions of the California Environmental Quality Act, the proposed denial of CUP No. PC-2025-0006-CUP qualifies for a statutory exemption under CEQA Guidelines Section 15270 (Projects which are disapproved). This exemption applies to projects that a public agency rejects or disapproves. Therefore, if the proposed project is denied, it is statutorily exempt from CEQA review pursuant to Section 15270 of the CEQA Guidelines.

ANALYSIS:

PROJECT DESCRIPTION

The Applicant is proposing to operate an interim housing facility within an existing multi-family residential property located at 2645 West Via Corona, Montebello, California 90640 (the "Project Site"). The proposed facility will provide temporary residential accommodations and supportive services for up to 15 justice-involved individuals experiencing homelessness. Pursuant to Appendix A- Index of Primary Uses of the Montebello Municipal Code, any family care services facility accommodating seven (7) or more persons is subject to review and approval of a Conditional Use Permit when proposed within residentially zoned areas. The program Chances 4 Change is a California-based non-profit organization providing individuals with stable housing and

necessary resources to reintegrate them back into society with access to healthcare, employment, and other resources.

The Project Site measures approximately 5,775 square feet (0.13 acres) and is currently developed as a multi-family residential property within the City's R-3 (Multi-Family Residential) zone with a "Neighborhood" land use designation. The proposed interim housing facility is situated on West Via Corona Avenue, near its intersection with North Garfield Avenue. The property is currently developed with a primary single-family dwelling and an existing two-car garage and an Accessory Dwelling Unit (ADU) with a total of 8 bedrooms. For reference, the project site plan can be found within Attachment B.

As previously mentioned, the project site is located adjacent to Ashiya Park and is approximately 46 feet away from the playground area. The park is a designated recreational area and consists of two playground areas, open space, a basketball court, and a picnic area. It is a public place where children regularly play, attend school events, and engage in various recreational activities, such as picnics and youth sports. Additionally, the subject property is located approximately 24 feet from 482 North Garfield Avenue, which houses Time Banquet Hall and Learn Academy, an organization that provides educational services for students.

There are multiple factors that have been considered for staff's recommendation of denial of the proposed supportive housing facility at 2645 West Via Corona Avenue. First, the project site's close proximity to sensitive land uses, including a local park, learning center, and banquet hall, which raises concerns regarding the appropriateness of the proposed use at this location. These are places where children, families, and members of the public frequently gather for recreational, educational, and social activities, and the introduction of a supportive housing facility in such close proximity may result in potential land use conflicts and community compatibility issues.

Secondly, there is a documented history of increased noise and activity at the site, particularly during the period when the Applicant was operating an unpermitted transitional housing facility and providing services to 15 individuals under a Home Occupation Permit. Pursuant to MMC Section 17.08.331, a "Home Occupation" is defined as an occupation, calling, trade or profession carried on by a resident within a dwelling unit that serves as the primary place of business and is accessory to the residential use of the property. The MMC further specifies that a Home Occupation shall not change the integrity or residential character of the property or its neighborhood.

Prior to the issuance of any Home Occupation Permit, the Applicant is required to sign and agree to the conditions listed in MMC Section 17.59.050 (Operation Standards). The Applicant failed to comply with the condition which expressly prohibits clients, customers, and/or associates from visiting the subject site. For these reasons, there are concerns related to a 15-person occupancy also being proposed under the current CUP application for the subject site.

The property has been subject to multiple Code Enforcement complaints and has generated eleven calls for service to the Montebello Police Department related to

disturbances and citizens arrests, as well as calls to the Montebello Fire Department, all during the time the property was being used to house 15 individuals. These recurring issues have raised health and safety concerns among neighboring residents and City staff, indicating that the site may not be suitable or adequately equipped to accommodate the proposed supportive housing use in a manner that ensures the welfare of both residents and the surrounding community.

The City of Montebello General Plan recognizes and supports social programs and services such as transitional/interim housing through the Montebello Community Assistance Program (“MCAP”). This program works in partnership with people experiencing homelessness to address medical conditions, mental health, and substance abuse disorders. MCAP provides intensive care management services with linkages to housing needs (supportive housing). The City is home to “Operation Stay Safe” which provides a 30-unit tiny home village to shelter 30 unhoused residents on a parking lot at the Montebello-Commerce Metrolink Station. While the City and Staff are supportive of housing initiatives, staff must ensure that any proposed project is compatible with the surrounding area and does not adversely affect adjacent properties or the public interest.

The City supports interim housing in locations that are adequately suited for this specific use. However, given the challenges and concerns associated with the subject site, which adversely affected adjacent properties when 15 individuals were residing at the unpermitted facility, it is recommended that an alternative location be identified for the proposed interim housing project, one that is more compatible with the surrounding area.

CONDITIONAL USE PERMIT

Section 17.70.010 of the MMC specifies that the purpose of a conditional use permit is to “allow proper integration of uses into the community which may only be suitable in specific locations, or only if such uses are designed or constructed in a particular manner on the site, and under certain conditions.”

As part of the decision-making process, the Planning Commission will have to consider if Conditional Use Permit findings can be made to allow for the use. Such considerations will have to determine that the use will not be detrimental to surrounding property and that the use will comply with the intent and purpose of the General Plan. In this case, the Commission could not make the necessary findings to support the approval of Conditional Use Permit No. PC-2025-0006-CUP.

A. That the site for the proposed use is adequate in shape and size;

The subject site is located within the R-3 (Multi-Family Residential) Zone which is intended to provide a suitable living environment for those wishing to live in multiple dwelling units. The intent of the zone is to promote desirable residential characteristics of medium density living, while stabilizing and protecting existing neighborhoods through development standards and requirements conducive to the proper development. Although the property is generally adequate in shape and configuration to accommodate the proposed use, its close proximity to sensitive

land uses, including a park and a learning center, raises concerns regarding potential compatibility, increased noise, and activity impacts on the surrounding neighborhood.

B. That the site has sufficient access to streets and highways, and is adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use;

The subject property can be accessed via West Via Corona as well as an alleyway located to the rear of the property. The surrounding streets are adequate in width and pavement conditions to accommodate the type and volume of traffic associated with the proposed use. However, it is anticipated that vehicular traffic will increase as a result of the project. The subject site is expected to generate vehicle trips related to staff arrivals and departures, service providers, and resident transportation needs. While the increase in traffic may be moderate, staff remains concerned about potential circulation and parking impacts on the surrounding residential neighborhood and park visitors due to inadequate parking on-site to accommodate the number of residents and services proposed under the CUP.

C. That the proposed use will not have an adverse effect upon adjacent or abutting properties;

With the proposed supportive housing facility accommodating 15 individuals, staff anticipates an increase in activity levels and noise that may adversely affect adjacent residential properties. Based on prior site operations, it cannot be determined with certainty that the proposed use would avoid adverse impacts on neighboring or abutting properties. It is anticipated that noise, traffic, and service calls to the Police Department could increase to levels similar to those experienced when 15 individuals previously resided at the site, prior to the City's revocation of the Home Occupation Permit. Given these concerns, staff finds that the proposed use has the potential to conflict with the character of the immediate neighborhood and detract from the quality of life and public safety objectives established in the General Plan and Zoning Code for this area.

D. Describe how the proposed use will meet the general purpose and intent of the Zoning Code and how it will be consistent with the General Plan;

The proposed interim housing facility is located within the R-3 (Multi-Family Residential) Zone and is a "Neighborhood" Land Use Designation under the City's General Plan. The proposed use of a family care facility accommodating 15 justice-involved individuals experiencing homelessness does not align with the General Plan goals and policies intended to preserve neighborhood quality, safety, and compatibility. Specifically, the project is inconsistent with the Noise and Safety (P5.4 Noise, P6.2 Safety, and P6.1) provisions of the General Plan, which emphasize maintaining a safe and peaceful living environment for residents. Although the City of Montebello General Plan recognizes and supports social programs and services, such as those provided through MCAP, the proposed facility's location and operational characteristics are not compatible with the

surrounding residential context or the intent of the “Neighborhood” land use designation.

GENERAL PLAN CONSISTENCY

The City’s General Plan Land Use category for the Project Site is “Neighborhood”. The proposed use of a family care facility accommodating 15 justice-involved individuals experiencing homelessness does not align with the General Plan Goals and Policies.

Specifically, the proposed interim housing facility is inconsistent with the following General Plan Goals and Policies:

- **“Built Environment” Element policy 5.4 (P5.4):** Minimize noise impacts to ensure that noise does not detract from Montebello’s quality of life.
- **“Our Safe Community” Element policy 6.2 (P6.2):** Encourage efforts to improve the image of safety in neighborhoods.

The General Plan includes programs that support the development of interim housing, but this type of use is subject to Staff review to ensure compatibility with surrounding development and land-use patterns. The General Plan broadly supports supportive housing while ensuring that these projects are properly integrated into the City in a compatible location.

Overall, the proposed use of the project is inconsistent with the health and safety guidelines established in the General Plan and does not support the objectives of maintaining neighborhood quality of life and safety.

REPORTS RECEIVED

On July 23, 2025, the application for Case No. PC-2025-0006-CUP was routed to the Building Division as well as to the Public Works, Fire, Police, and Recreation & Community Services Departments for review, comments, and conditions.

On August 21, 2025, the Police Department provided a response identifying concerns to the proposed use and calls of service and inquired as to the feasibility and adequacy of the Police Department’s proposed conditions.

PUBLIC NOTIFICATION

Pursuant to MMC Section 17.78 (Public Hearings, Notices, and Appeals), the following noticing was performed:

- On October 23, 2025, the Public Hearing Notice was published in the Daily Journal (Whittier Daily News); and
- On October 23, 2025, the Public Hearing Notice was mailed to all property owners within a 300-foot radius from the exterior boundaries of the project site.

SUMMARY:

Staff believes that the required findings cannot be made to support the approval of Conditional Use Permit No. PC-2025-0006-CUP, as the proposed project does not align with the General Plan's objectives related to maintaining neighborhood quality of life and public safety. The property is located in close proximity to sensitive land uses, including a local park, learning center, and banquet hall, where children, families, and members of the public frequently gather. Furthermore, based on the Police Department records of calls for service received when 15 individuals previously resided at the site, prior to the City's revocation of their Home Occupation Permit, staff believes that approval of the proposed use could result in recurrence of similar public safety concerns, noise impacts, and disturbances to the surrounding neighborhood.

Therefore, it is recommended that the Planning Commission adopt Resolution No. 10-25, denying CUP No. PC-2025-0006-CUP. Additionally, if the proposed project is denied, staff recommends that the Planning Commission determine the proposed project is Statutorily Exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15270 (Projects Which Are Disapproved) of the CEQA Guidelines, as CEQA would not apply to projects which a public agency rejects or disapproves.

ATTACHMENT(S)

1. A. Resolution 10-25 (PC-2025-0006-CUP)
2. B. Project Site Plan
3. C. Calls of Service
4. D. Code Enforcement Notice of Violation

**CITY OF MONTEBELLO
PLANNING COMMISSION**

RESOLUTION NO. 10-25

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
MONTEBELLO DENYING CONDITIONAL USE PERMIT (CASE NO. PC-
2025-0006-CUP) FOR THE PROPOSED OPERATION OF AN INTERIM
HOUSING FACILITY WITHIN AN EXISTING MULTI-FAMILY
RESIDENTIAL PROPERTY LOCATED AT 2645 WEST VIA CORONA
("PROJECT SITE").**

WHEREAS, the City of Montebello ("City") received an application from Mechille Johnson ("Applicant") on behalf of Chances 4 Change Inc. for a Conditional Use Permit ("CUP") (Case No. PC-2025-0006-CUP) for the operation of an interim housing facility within an existing multi-family residential ("Project") located at 2645 West Via Corona, Montebello, CA 90640 ("Project Site"); and

WHEREAS, pursuant to Montebello Municipal Code ("MMC") Section 17.70.020, the Planning Commission of the City of Montebello ("Planning Commission") has the authority to approve or deny applications for a CUP; and

WHEREAS, pursuant to Section 21067 of the Public Resources Code, and Section 15367 of the California Environmental Quality Act ("CEQA") Guidelines (Cal. Code Regs., tit. 14, §15000, *et seq.*), the City of Montebello is the lead agency for the proposed Project; and

WHEREAS, the Project has been determined to be Statutorily Exempt pursuant to CEQA Section 15270 (Projects Which are Disapproved), as this exemption applies to projects that a public agency rejects or disapproves; and

WHEREAS, a duly noticed public hearing has been held, at which the Planning Commission received and considered staff presentations, recommendations, public testimony, and all other matters presented at the public hearing and included in the record for this matter; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

WHEREAS, after conducting a duly noticed public hearing, and considering the evidence submitted by the applicant, public testimony, staff presentations, and such other

matters properly presented during the hearing on this matter, the Planning Commission makes the following findings:

A. That the site for the proposed use is adequate in shape and size;

The subject site is located within the R-3 (Multi-Family Residential) Zone which is intended to provide a suitable living environment for those wishing to live in multiple dwelling units. The intent of the zone is to promote desirable residential characteristics of medium density living, while stabilizing and protecting existing neighborhoods through development standards and requirements conducive to the proper development. Although the property is generally adequate in shape and configuration to accommodate the proposed use, its close proximity to sensitive land uses, including a park and a learning center, raises concerns regarding potential compatibility, increased noise, and activity impacts on the surrounding neighborhood.

B. That the site has sufficient access to streets and highways, and is adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use;

The subject property can be accessed via West Via Corona as well as an alleyway located to the rear of the property. The surrounding streets are adequate in width and pavement conditions to accommodate the type and volume of traffic associated with the proposed use. However, it is anticipated that vehicular traffic will increase as a result of the project. The subject site is expected to generate vehicle trips related to staff arrivals and departures, service providers, and resident transportation needs. While the increase in traffic may be moderate, staff remains concerned about potential circulation and parking impacts on the surrounding residential neighborhood and park visitors due to inadequate parking on-site to accommodate the number of residents and services proposed under the CUP.

C. That the proposed use will not have an adverse effect upon adjacent or abutting properties;

With the proposed supportive housing facility accommodating 15 individuals, staff anticipates an increase in activity levels and noise that may adversely affect adjacent residential properties. Based on prior site operations, it cannot be determined with certainty that the proposed use would avoid adverse impacts on neighboring or abutting properties. It is anticipated that noise, traffic, and service calls to the Police Department could increase to levels similar to those experienced when 15 individuals previously resided at the site, prior to the City's revocation of the Home Occupation Permit. Given these concerns, staff finds that the proposed use has the potential to conflict with the character of the immediate neighborhood and detract from the quality of life and public safety

objectives established in the General Plan and Zoning Code for this area.

D. Describe how the proposed use will meet the general purpose and intent of the Zoning Code and how it will be consistent with the General Plan;

The proposed interim housing facility is located within the R-3 (Multi-Family Residential) Zone and is a “Neighborhood” Land Use Designation under the City’s General Plan. The proposed use of a family care facility accommodating 15 justice-involved individuals experiencing homelessness does not align with the General Plan goals and policies intended to preserve neighborhood quality, safety, and compatibility. Specifically, the project is inconsistent with the Noise and Safety (P5.4 Noise, P6.2 Safety, and P6.1) provisions of the General Plan, which emphasize maintaining a safe and peaceful living environment for residents. Although the City of Montebello General Plan recognizes and supports social programs and services, such as those provided through MCAP, the proposed facility’s location and operational characteristics are not compatible with the surrounding residential context or the intent of the “Neighborhood” land use designation.

NOW, THEREFORE, the Planning Commission of the City of Montebello resolves that:

SECTION 1. The foregoing recitals are true and correct and are hereby incorporated as substantive findings in this Resolution.

SECTION 2. The Planning Commission has determined the project to be Statutorily Exempt pursuant to CEQA Section 15270 (Projects Which are Disapproved), as this exemption applies to projects that a public agency rejects or disapproves.

SECTION 3. The Planning Commission hereby denies CUP (PC-2025-0006-CUP) to allow the operation of an interim housing facility within an existing multi-family residential located at 2645 West Via Corona to provide temporary residential accommodations and support services for up to 15 justice-involved individuals experiencing homelessness.

PASSED AND ADOPTED this 4th day of November, 2025 by the Planning Commission.

Chair Medina:	() AYE () NOE () ABSENT () ABSTAIN
Commissioner Morales:	() AYE () NOE () ABSENT () ABSTAIN
Commissioner Lomeli:	() AYE () NOE () ABSENT () ABSTAIN
Commissioner Lopez:	() AYE () NOE () ABSENT () ABSTAIN
Commissioner Cuevas:	() AYE () NOE () ABSENT () ABSTAIN

Armando Medina, Chair

ATTEST:

Joseph A. Palombi, Director
Planning & Community Development Department

CALIBER DESIGN
115234 PROCTOR AVE.
CITY OF INDUSTRY, CA 91745
(626)768-3392

**DESIGN
ENGINEERING
PROJECT MANAGEMENT**

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PROPOSED ADU 2645 VIA CORONA MONTEBELLO	
REVISION # DATE REASON	
MADE DATE DESCRIPTION	
PROJECT NO. 20200810	
DRAWN BY	
DWG BY	
CONTRACT # SCALBER 2017	
SHEET TITLE	
MAND MEAS	
SHEET DESCRIPTION M-M	

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

SECTION	REVISION
1	ADDITIONAL
2	ADDITIONAL
3	ADDITIONAL
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100	ADDITIONAL

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	900
MARINE DECK	760
OTHER	750

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	150
NON-FLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	50
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASSOXYGEN SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTANT COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	50
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
IRON SOLIDS COATINGS	120
MAGNETITE CEMENT COATINGS	400
MASONRY TEXTURE COATINGS	150
METALLIC PIGMENTED COATINGS	400
MULTICOAT COATINGS	250
PRETREATMENT WASH PRIMERS	100
PRIMERS, SEALERS, & UNDERCOATERS	120
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLS	
CLEAR	750
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TIMBERING MARKING COATINGS	100
TUB & TILE REPAIRING COATINGS	250
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ADHESIVE VOC LIMIT	VOC LIMIT
ARCHITECTURAL APPLICATIONS	
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	150
HARDER FLOOR ADHESIVES	50
SLIP-ON ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VEY & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPU WELDING	400
ABS WELDING	225
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	50
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	30

1. IF AN ADHESIVE IS USED TO BOND DISJOINT SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 116.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.06
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM 1323. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 8120 THROUGH 8120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. Carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

- Carpet and Rug Industry's Green Label Plus Program.
- California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
- ISO 24504-14 at the California Green Label Plus.
- Scientific Certifications Systems Indoor Advantage Gold.

4.504.3.1 Carpet adhesives. All carpet adhesive installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 95% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products certified by the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350), certified as a CMPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Product Database.

2. Products certified under the GREENSTAR Gold (formerly the GreenGuard Gold) program.

3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.

4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the exterior or interior of the buildings shall meet the requirements for formaldehyde specified in ANSI A-900 or Toluene Control Measure for Composite Wood (17 CCR 81210 et seq.) by or below the dates specified in those sections, as shown in Table 4.504.5.

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.

2. Chain of custody certification.

3. Product label and label as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 81210, et seq.).

4. Exterior grade products marked as meeting the P101- or P102- standards of the Engineered Wood Association, the Australian ANS2200, European EN 13986 standards, and Canadian CSA 0101, CSA 0151, CSA 0152 and CSA 0153 standards.

5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete masonry ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Cracks. Cracks shall be repaired in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1:2 (2.7mm) or larger design aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will achieve bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 308.2R.

2. Other equivalent methods approved by the enforcing agency.

3. A also design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall be installed, and floor framing shall not be installed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.9 of this code.

2. Moisture readings shall be taken in a spot 2 feet (610 mm) to 4 feet (1219 mm) from the greatest slant and of each piece varied.

3. At least three random moisture readings shall be performed on each wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to install the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Where installed insulation products shall follow the manufacturers drying or recommissioning prior to use.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 60%. A humidity control may utilize manual or automatic means of adjustment.

b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.

2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.1 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculations), ASHRAE handbook or other equivalent design software or methods.

2. Cool tonnage is sized according to ANSI/ACCA 2 Manual D - 2014 (Residential Load Calculations), ASHRAE handbook or other equivalent design software or methods.

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exceptions: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Untrained persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.

2. Public utility training programs.

3. Training programs sponsored by trade, labor or statewide industry consulting or certification organizations.

4. Programs sponsored by manufacturing organizations.

5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with the code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certification or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.

2. Certification by a statewide energy consulting or verification organization, such as HERG rates, building performance contractors, and home energy auditors.

3. Successful completion of a third party apprentice training program in the appropriate trade.

4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

2. HERG rates are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[HCD] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with the code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency the particular type of inspection or task to be performed. In addition, the special inspector shall have a verification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job functions, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial compliance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance shall be specified in the appropriate section or identified applicable chapter.



CALIBER DESIGN
151 S 8TH AVE, STE 8
CITY OF INDUSTRY, CA 91716
(626) 768-3392

DESIGN
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PROJECT MANAGEMENT
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PROPOSED ADU
2645 VIA CORONA
MONTEBELLO

REVISION

NO.	DATE	DESCRIPTION
1	02/08/2020	ISSUED FOR PERMIT

PROJECT NO: 20200810
DRAWN BY: [blank]
CHECKED BY: [blank]
COMPILED BY: CALIBER 2017

SHEET TITLE
MAND MEAS
SHEET DESCRIPTION
MM2

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Input File Name: 35-4-2645 W Via Corona Montebello.rdb19

Input File Name: 35-4-2645 W Via Corona Montebello.rdb19

WATER HEATING - HEAT VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central Drift Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required
DHW Sys 3 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

Report Generated: 2021-04-06 21:55:11

Input File Name: 354_3545_H330_Cover_Mountable_08110

(Page 5 of 9)

HVAC HEAT PUMPS - HEERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap #1	Verified Heating Cap #2
Heat Pump System 1 1-hera ingram	Not Required	0	Not Required	Not Required	No	No	No	No
Heat Pump System 2 2-hera ingram	Not Required	0	Not Required	Not Required	No	No	No	No

Report Generated: 2021-04-06 21:55:11

Calculation Date/Time: 2021-04-06T21:54:16-07:00

(Page 9 of 9)

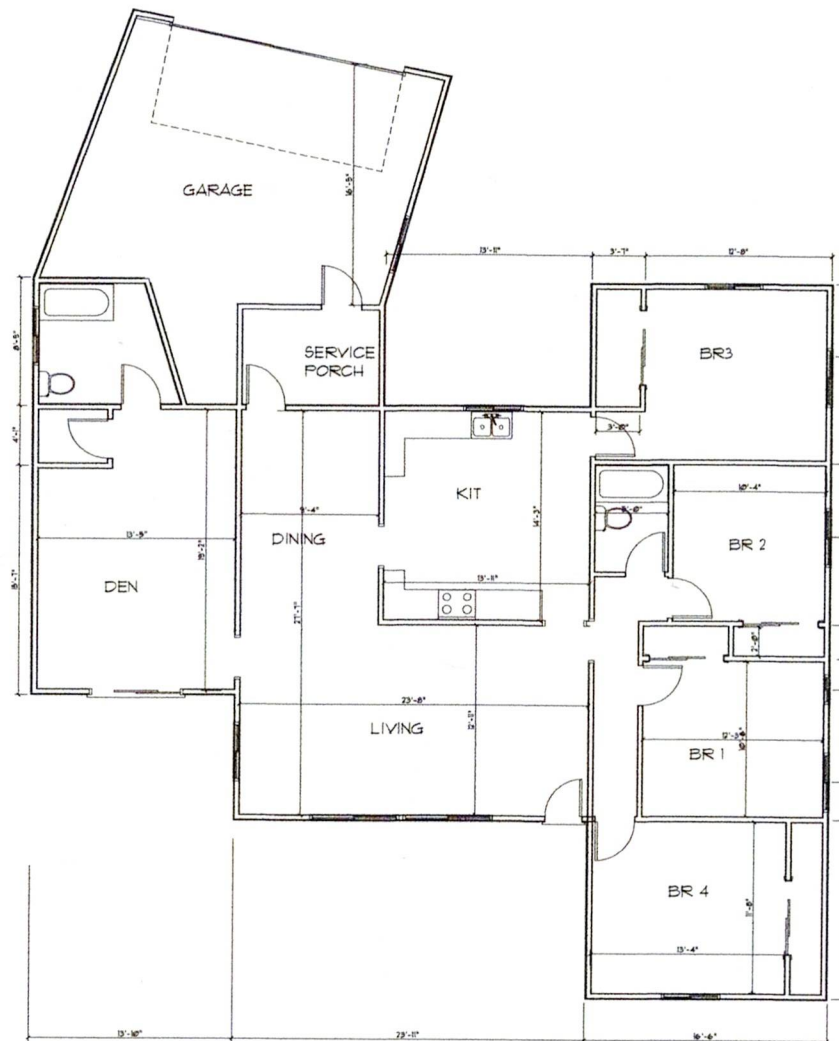
DECLARATION STATEMENT	
I certify that this Certificate of Compliance declassification is accurate and complete.	
Documentation Author Name: Oscar Bautista Company: T 24 Pro Address: 3990 4th Street, Suite 4 City/State/Zip: Riverside, CA 92501	Declaration Author Signature: <i>Oscar Bautista</i> Signature Date: 04/06/2021 CIA/HERS Certificate Identification (if applicable): Phone: 926-434-0830
RESPONSIBLE PERSON'S DECLARATION STATEMENT I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Section 3 of the Business and Professions Code to accept responsibility for the building system identified on this Certificate of Compliance. 2. I certify that the design features and performance specifications described on this Certificate of Compliance adhere to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, data and specifications submitted to the enforcement agency for approval with the same. Responsible Designee Name: Efrain Coronado Company: Carbor Design Address: 11034 Proctor Avenue City/State/Zip: Industry, CA 91746 Phone: (926) 768-1392	

Digitally signed by Outfit House Energy Efficiency Rating Systems Services, Inc. (CHERS). This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

HLRS Provider: CHERS
 If with or related to CHERS. Therefore, CHERS is not

EnergyPro 8.2 by EnergySoft User Number: 11006 © 1994-2004 Page 12 of 20

EnergyPro 8.2 by EnergySoft User Number: 11008 © 724-354 Page 12 of 28



1 (E) FLOORPLAN
10'-0" x 10'-0"



CALIBER DESIGN
10304 PROCTOR AVE
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DESIGN
ENGINEERING
PROJECT MANAGEMENT
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PROPOSED ADU
2645 VIA CORONA
MONTEBELLO

THIS PLAN SET PREPARED BY CALIBER DESIGN FOR THE PROJECT OF 2645 VIA CORONA, MONTEBELLO, CALIFORNIA. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDUSTRY, CALIFORNIA. CALIBER DESIGN IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN SET. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDUSTRY, CALIFORNIA.

REVISION

NO.	DATE	DESCRIPTION
1	10/10/2017	ISSUED FOR PERMIT

AWARD DATE DESCRIPTION

PROJECT NO.	20200810
DRAWN BY	
CHECK BY	
COMPILED BY	OCALBER 2017

SHEET TITLE

(E) FLRPLAN

SHEET DESCRIPTION

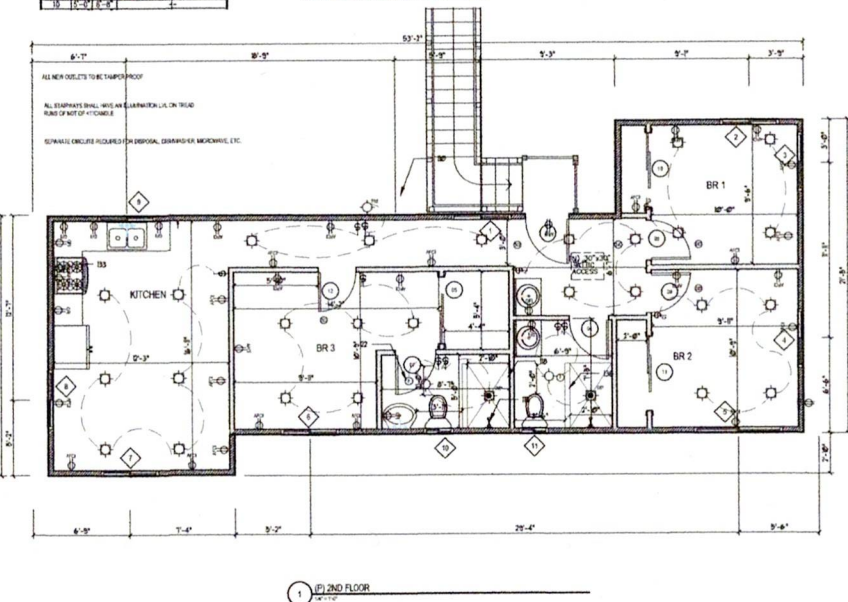
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SYMBOL	DESCRIPTION
	NEW DUPLEX RECEPTACLE
	NEW DUPLEX RECEPTACLE ABOVE COUNTER
	GROUND FAULT CIRCUIT INTERRUPTER
	DUPLEX RECEPTACLE WEATHER PROTECTED, GFCI
	NEW TELEPHONE OUTLET
	TELEVISION CABLE
	RECESSED CAN LIGHT
	CEILING MOUNTED RECEPTACLE
	RECESSED A/C LIGHT (WALL WASH)
	WALL SCONCE
	CARBON MONOXIDE DETECTOR- SEE SMOKE DETECTOR NOTES
	FLUORESCENT CEILING LIGHT PROVIDING AVG. 40 LUMENS/WATT
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT SWITCH WITH DIMMER
	SWITCH CONNECTION
	FAN PROVIDING 5 AIR CHANGES/HR. 500CFM MAX. CONT./20 CFM INTER.
	SMOKE DETECTOR- SEE SMOKE DETECTOR NOTES
	WETPROOF LIGHT
	PHOTOMETRIC LIGHT/OUTPUT SENSOR, NOT OVERDRIVEN BY SWITCH
	ARC-FAULT CIRCUIT INTERRUPTER LISTED RECEPTACLE
	GROUND FAULT INTERRUPTED-AFCI PROTECTED
	RECESSED CAN LIGHT PIN BASED APPROVED FOR WET LOCATION
	CEILING CAN LIGHT WITH PIN BASED FLUORESCENT
	RECESSED MOUNTED FAN

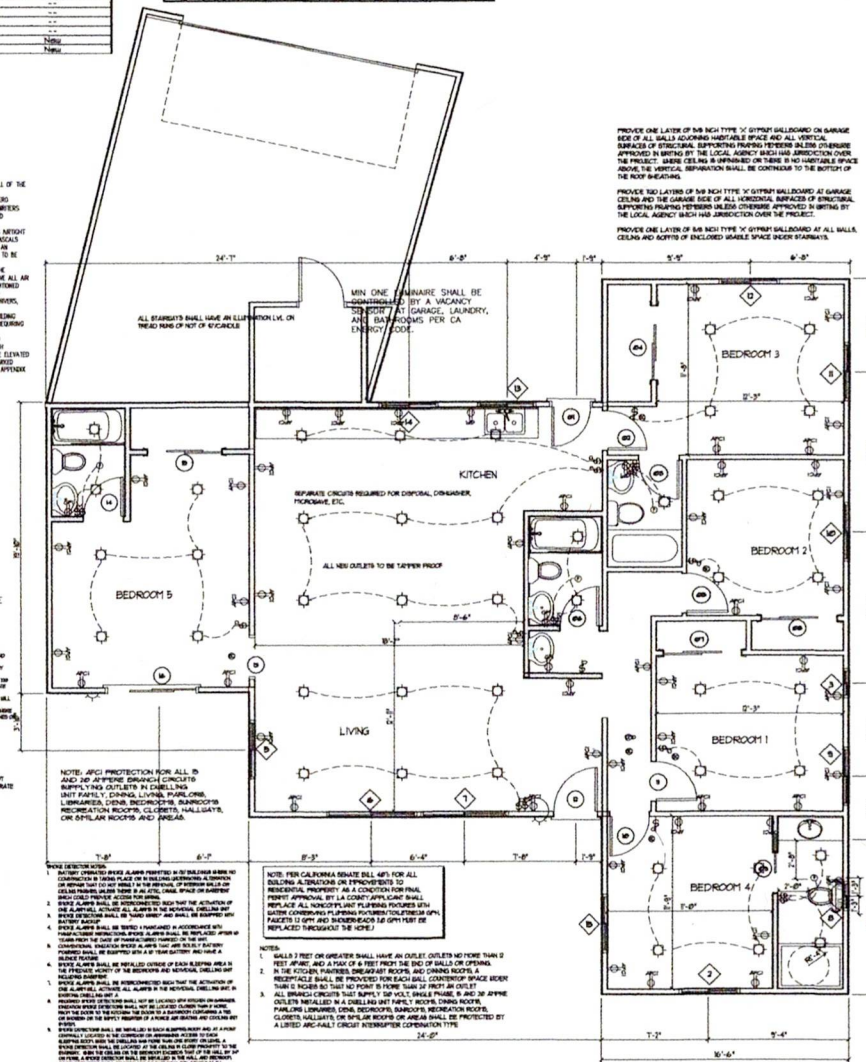
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	WD	HGT	
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5	4'-0"	6'-0"	None
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8	2'-0"	6'-0"	+
9	2'-0"	6'-0"	+
10	5'-0"	6'-0"	+

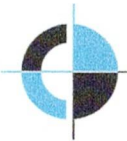
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	Width	HEIGHT					
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3	2-0	6-2	Slater	NW	23	2.0	2-0
4	2-0	6-2	Slater	NW	24	2.0	2-0
5	2-0	6-2	Slater	NW	25	2.0	2-0
6	2-0	6-2	Slater	NW	26	2.0	2-0
7	2-0	6-2	Slater	NW	27	2.0	2-0
8	2-0	6-2	Slater	NW	28	2.0	2-0
9	2-0	6-2	Slater	NW	29	2.0	2-0
10	2-0	6-2	Slater	NW	30	2.0	2-0
11	2-0	6-2	Slater	NW	31	2.0	2-0



DOOR			NOTE5
MARK	WD	HGT	
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2	2.0	6.0	Natu
3	2.0	6.0	Natu
4	2.0	6.0	Natu
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9	2.0	6.0	Natu
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11	2.0	6.0	--
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13	2.0	6.0	--
14	2.0	6.0	Natu
15	2.0	6.0	Natu

MARK	SIZE		Style	Status	BKGC	U-Factor	Bill Hrs
	Width	HEIGHT					
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3	4.0	4.0	Older	DISP			
4	4.0	4.0	Older	DISP			
5	4.0	4.0	Older	DISP			
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55	4.0	4.0	Older	DISP			
56	4.0	4.0	Older	DISP			
57	4.0	4.0	Older	DISP			
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59	4.0	4.0	Older	DISP			
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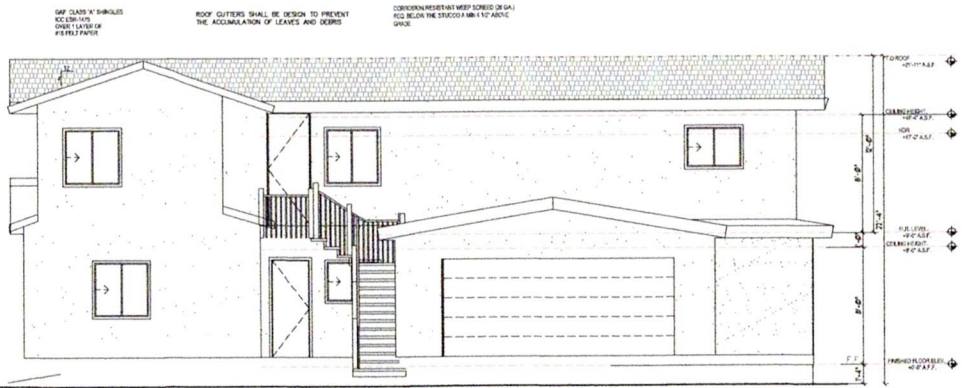
CALIBER DESIGN
15004 PROCTOR AVE
CITY OF INDUSTRY, CA 91745
(626)768-3392
DESIGN
ENGINEERING
PROJECT MANAGEMENT
WWW.CALIBERPLANS.COM

PROPOSED ADU
2645 VIA CORONA
MONTEBELLO

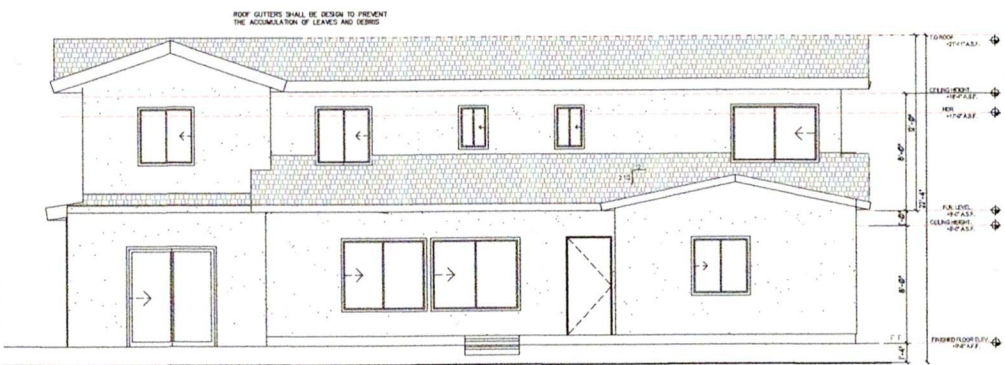
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REVISION
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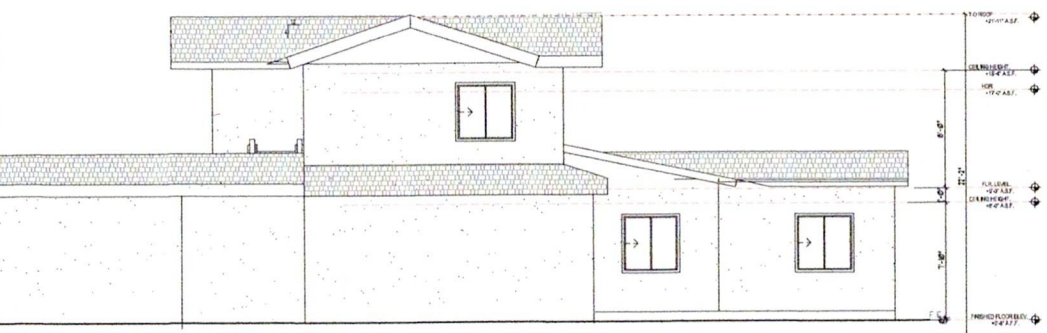
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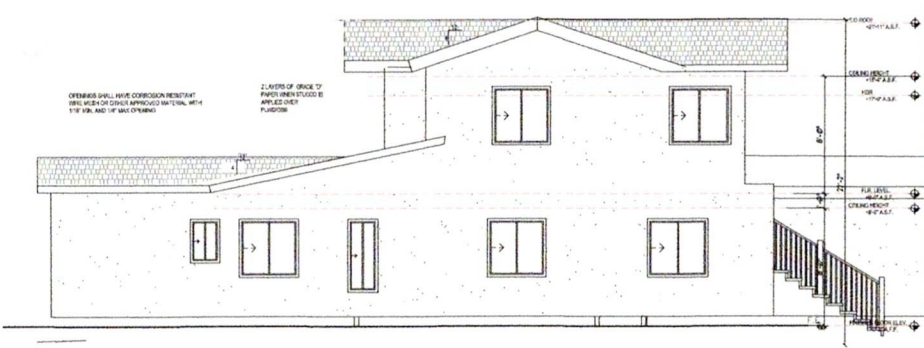
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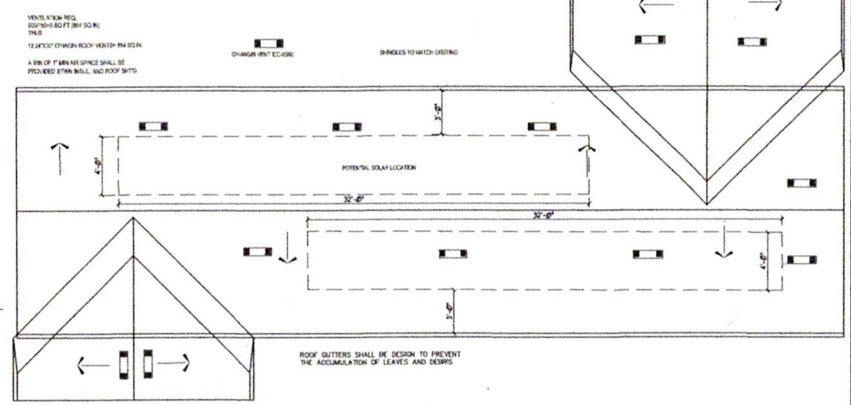
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2 EAST ELEVATION (2)
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5 ROOF PLAN
10'-0\"/>

GENERAL NOTES AND SPECIFICATIONS

WOOD

WOOD FRAMING GENERAL:

PROVIDE DOUBLE JOISTS UNDER AND PARALLEL TO ALL BEARINGS PARTITIONS.

- ALL BOLT HOLES SHALL BE DRILLED 1/32" TO 1/16" OVERSIZED.
- ALL FOUNDATIONS PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, AND SILLS THAT REST ON CONCRETE OR MASONRY FOUNDATIONS WITHIN 48" OF THE GROUND, SHALL BE TREATED WOOD OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.
- 2x12 JOISTS SHALL BE BLOCKED AT THE SUPPORTS AND AT 8 FEET O.C. (AND RAFTERS GREATER THAN 10' DEPTHS AT THE SUPPORTS AND AT 10 FEET O.C.) WITH SOLID 2x BLOCKING 2" SHALLOWER THAN JOISTS OR APPROVED METAL CROSS BRIDGING.
- WOOD FRAMING MEMBERS: DOUGLAS FIR-LARCH N°2 UNLESS OTHERWISE MARKED ON THE PLANS.
- RAFTER TIES SPACED AT 4 FEET (MAX.) ON CENTER ARE REQUIRED IMMEDIATELY ABOVE CEILING JOISTS WHICH ARE NOT PARALLEL TO THE RAFTERS.

NAILING SCHEDULE TABLE

JOIST TO SILL OR GIRDER, TOENAIL	3-8d
BRIDGING TO JOIST, TOENAIL EACH END	2-8d
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16d @16" o.c.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3-16d per 16"
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
DOUBLE STUDS FACE NAIL	16d @24" o.c.
DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d @16" o.c.
DOUBLE TOP PLATES, LAP SPLICE	8-16d
JOIST TO JOIST OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
RIM JOIST TO TOP PLATE, TOENAIL	8d @6" o.c.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
CONTINUOUS HEADER, TWO PIECES	16d @ o.c. along each edge
CEILING JOISTS TO PLATE, TOENAIL	3-8d
CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
RAFTER TO PLATE, TOENAIL	3-8d
1"x BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
WIDER THAN 1"x8" SHEATHINGS TO EACH BEARING, FACE NAIL	3-8d
BUILT-UP CORNER STUDS	16d @24" o.c.
BUILT-UP GIRDER & BEAMS	20d @32" o.c. AT TOP & BOTTOM & STAGGERED
2"x PLANKS	2-20d @ ENDS
WOOD SHEAR AND DIAPHRAGMS:	2-16d @ EACH BEARING

WOOD CONSTRUCTION

COMMON NAILS SHALL BE USED FOR ALL DIAPHRAGMS AND SHEAR WALL NAILING. ROOF SHEATHING: 1/2" THICK PLYWOOD CDX WITH INDEX 32/16. 8d NAILS @ 6" o.c. AT PANEL EDGES, AND 6d NAILS @ 12" o.c. AT PANEL FIELD. ALLOW 1/8" SPACING AT PANEL EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER. FLOOR SHEATHING: 3/4" THICK PLYWOOD CDX WITH INDEX 32/16. USE 10d COMMON NAILS AT 6" o.c. AND @ PANEL EDGES AND 10" o.c. IN THE FIELD. ALLOW 1/8" SPACING AT PANEL EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER. PLYWOOD DIAPHRAGMS: PRODUCT STANDARD PS 1-95, DOUGLAS FIR-LARCH. WATERPROOFING: STUCCO OVER PLYWOOD SHEAR WALL WILL BE WATERPROOFED WITH A MINIMUM OF TWO 15# (GRADE 3) UNDERLAYMENTS.

WOOD CONSTRUCTION

STRUCTURAL LUMBER SHALL BE GRADE-MARKED DOUGLAS FIR-LARCH	
RAFTERS	2 TO 4 WIDE UP TO 6 DEEP No. 2
	2 TO 4 WIDE, 8" OR LARGER No. 2
JOISTS	2 TO 4 WIDE, 6 AND DEEPER No. 2
BEAMS, PURLINS	OVER 4 WIDE No. 1
SUB-PURLINS	2 TO 4 WIDE, 4 DEEP No. 1
LEDGERS	2x4 OR 3x4 No. 2
STUDS	2x6 No. 2
POSTS	No. 2
SILLS, PLATES AND BLOCKING	No. 2

SILLS OR PLATES BEARING ON CONCRETE OR MASONRY WHICH IS WITHIN 48" OF EARTH SHALL BE PRESSURE TREATED, OR EQUAL, WOOD PER C.B.C. SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" DIAMETER x 10" BOLTS 4'-0" O.C. 12" MIN. FROM ENDS, OR 2" BOLTS MIN. PER PIECE, WHERE DIFFERENT SIZES AND/OR SPACINGS ARE REQUIRED, THEY SHALL GOVERN. INSTALL WITH 3"x3"x1/4" PLATE WASHER AT EACH ANCHOR BOLT.

PLACE 2" FIREBLOCKING IN STUD WALLS AT CEILING AND FLOOR LEVELS, AT EACH 10' HEIGHT OF STUDS, AND BETWEEN STAIR STRINGERS AT SUPPORTS. JOISTS SHALL BE BLOCKED AT SUPPORTS AND BRIDGED OR BLOCKED AT INTERVALS OF 8 FT WHERE JOISTS ARE 2x12 OR DEEPER.

JOISTS UNDER NON-BEARING PARTITIONS SHALL BE DOUBLED, EXCEPT AS NOTED. LAGBOLTS (& SCREWS) SHALL BE PRE-DRILLED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED (NOT DRIVEN) INTO PLACE. CUT WASHERS SHALL BE PLACED UNDER HEADS AND NUTS OF ALL BOLTS AND UNDER HEADS OF LAGBOLTS. ONE CUT WASHER SHALL BE USED FOR BOLTS CONNECTING WOOD LEDGERS TO CONCRETE OR MASONRY WALLS. ALL HARDWARE USED FOR WOOD CONNECTION SHALL BE SIMPSON STRONG-TIE PRODUCTS. INSTALL PER MANUFACTURERS RECOMMENDATIONS. ALTERNATE PRODUCTS WILL ONLY BE PERMITTED IF WRITTEN APPROVAL AND ACCEPTANCE IS OBTAINED BY ENGINEER.

ALL LUMBER SHALL HAVE A MOISTURE CONTENT NOT TO EXCEED 19% AT THE TIME OF FABRICATION OR CONSTRUCTION.

FASTENERS FOR PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A153.

DESIGN PARAMETERS

7-16 ASCE : MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES
2018 IBC : INTERNATIONAL BUILDING CODE
2019 CBC : CALIFORNIA BUILDING CODE

SEISMIC VALUES (FOR AREAS A & B)

a.1 IMPORTANCE FACTOR	I
a.2 RISK CATEGORY	II
LATITUDE:	34.0205979°N
LONGITUDE:	-118.1331834°W
b. MAPPED SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS	S _s =1.8960g
MAPPED SPECTRAL RESPONSE ACCELERATION AT 1-SECOND PERIOD	S ₁ =0.679g
c. SEISMIC SITE CLASS:	"D"
d. SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS	S _u =1.288g
SPECTRAL RESPONSE ACCELERATION AT 1-SECOND PERIOD	S ₁ =0.680g
e. SEISMIC DESIGN CATEGORY:	SDC="D"
f. BASIC SEISMIC-FORCE-RESISTING SYSTEMS (Light-Framed Walls Sheathed w/wood struc. panels & Hardy Frames)	
g. Total Base Shear (UDF Desig.), ASD design	V=17,231 Lbs
h. SEISMIC RESPONSE COEFFICIENT:	C _s =0.19
i. RESPONSE MODIFICATION COEFFICIENT FOR SHEAR WALLS	R=6.5
APPROXIMATE PERIOD PARAMETER	C _t =0.02
j. Analysis Procedure (Equivalent Lateral Force Procedure)	
k. Redundancy Factor	p=1.3
l. Load Bearing Capacity (from 2.019 CBC-Table 1806.2)	1,500 Psf

WIND VALUES

ULTIMATE & NOMINAL WIND SPEED (3-second gust):	95 mph
WIND EXPOSURE CATEGORY:	"B"
INTERNAL PRESSURE COEF:	+/-0.18
RISK CATEGORY	II

DEAD & LIVE LOADS

ROOF DEAD LOAD:	8.5 Psf
CEILING DEAD LOAD:	6.0 Psf
FLOOR DEAD LOAD:	13.5 Psf
EXTERIOR WALL DEAD LOAD:	17.5 Psf
INTERIOR WALL LIVE LOAD:	9.5 Psf
ROOF LIVE LOAD:	20 Psf
CEILING LIVE LOAD:	10 Psf
FLOOR LIVE LOAD:	40 Psf

ADDITIONAL NOTES

- CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OF SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER SEC 1709.1.
- CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED FOR FIELD WELDING, POST-INSTALLED ADHESIVE ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED TO RESIST SUSTAINED TENSION LOADS, SHOTCRETE PLACEMENT, CONCRETE STRENGTH $f_{c'}$ > 2500 PSI, SPRAYED-ON FIREPROOFING, ENGINEERING MASONRY, HIGH-LIFT GROUTING, HIGH LOAD DIAPHRAGMS AND SPECIAL MOMENT-RESISTING CONCRETE FRAMES, AND HELICAL PILE FOUNDATIONS.
- FOUNDATION SILLS SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- FIELD WELDING TO BE DONE BY WELDERS CERTIFIED BY THE LADBS FOR (STRUCTURAL STEEL)(REINFORCING STEEL)(LIGHT GAUGE STEEL).CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED.
- SHOP WELDS MUST BE PERFORMED IN A LADBS LICENSED FABRICATORS SHOP.
- LADBS LICENSED FABRICATOR IS REQUIRED FOR (TRUSSES),(STRUCTURAL STEEL).
- GLUED-LAMINATED TIMBERS MUST BE FABRICATED IN A LADBS LICENSED SHOP. IDENTIFY GRADE SYMBOL AND LAMINATION SPECIES PER 2015 NDS SUPPLEMENT TABLE 5A.
- PROVIDE LEAD HOLE 40%-70% OF THREADED SHANK DIAMETER AND FULL DIAMETER FOR SMOOTH SHANK PORTION.
- PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES ON CENTER OR LESS.
- SPECIAL ACTIVITY INSPECTION IS REQUIRED FOR (BUILDINGS OVER 5 STORIES OR 60' IN HEIGHT)(BUILDINGS OVER 50,000 SQ.FT. OF GROUND FLOOR AREA)(BUILDINGS OVER 200,000 SQ.FT. OF TOTAL FLOOR AREA.
- A COPY OF THE LOS ANGELES RESEARCH REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.
- HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD-DOWNS SHALL BE FINGER TIGHT AND 1 WRENCH TURN JUST PRIOR TO COVERING THE WALL FRAMING. CONNECTOR BOLTS INTO FRAMING REQUIRE STEEL PLATE WASHERS ON THE POST ON THE OPPOSITE SIDE OF THE ANCHORAGE DEVICE. PLATE SIZE SHALL BE A MINIMUM OF 0.299 INCH BY 3 INCHES BY 3 INCHES.
- ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANEL EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.7.
- ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.
- ALL BOLTS SHALL BE DRILLED 1/32" TO 1/16" OVERSIZED.
- HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.



County of Los Angeles
DEPARTMENT OF PUBLIC WORKS BUILDING & SAFETY DIVISION
Los Angeles Regional Uniform Code Program

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 108, 1704 or other sections of the Los Angeles County Building Code. (Sections 106.4.5, 1709)

This report includes all construction work through _____ day of _____, 20____.
Page No. _____ of _____

Project Address: 2645 Via Corona, Montebello, CA 90640
Building Permit No.: Structural Observation performed by: Structural Observer of Record (SOR): SOR Phone No.:
Observer Professional Lic./Reg. No.: Observer Phone No.:

OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

FOUNDATION	WALL	FRAMES	FLOOR	ELEMENTS/CONNECTION OBSERVATION LOCATION
☐ Footing, Stem Walls	☐ Concrete	☐ Steel Moment Frame	☐ Concrete	
☐ Jet Foundation	☐ Masonry	☐ Steel Braced Frame	☐ Steel Deck	
☐ Caisson, Pile, Grade Beams	☐ Wood	☐ Concrete Moment Frame	☐ Wood	
☐ Retaining Foundation	☐ Others:	☐ Masonry Wall	☐ Others:	
☐ Hillside Special Anchors		☐ Frame		
☐ Others:		☐ Others:		

NOTED DEFICIENCIES with the proposed corresponding corrective actions with respect to general conformance with the approved plans or in the load path: (A final report by the structural observer which states that all observed deficiencies have been resolved is required before acceptance of the work by the building officials.)

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY OF LOS ANGELES.
- I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
- ALL NOTED DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
- I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE COUNTY OF LOS ANGELES BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.

(STAMP OF STRUCTURAL OBSERVER)

SIGNATURE OF STRUCTURAL OBSERVER DATE

ICC-ES	ICC-ES #
HOLD-DOWNS	ESR-2330
FOUNDATION ANCHORS	ESR-2508
HANGERS	ESR-2549
FRAMING CLIPS	ESR-2606
STRAPS	ESR-2105
PLYWOOD PANELS	ESR-2586
SHOT PINS	ESR-1799
CC COLUMN CAP	ESR-2604

STRUCTURAL PLANS - SHEET INDEX

S-1	GENERAL NOTES
S-2.1	FOUNDATION PLAN
S-2.2	1st FLOOR & ROOF FRAMING PLAN
S-3	FOUNDATION DETAILS
S-4	FOUNDATION DETAILS
S-5	FRAMING DETAILS
S-6	FRAMING DETAILS

REVISIONS

#	DATE
1	
2	
3	

DESCRIPTION:
NEW 2nd FLOOR
AND INTERIOR REMODEL

OWNER:
2645 Via Corona,
Montebello, CA 90640

ROMB Structural Engineering
21243 Ventura Blvd. Suite 119
Woodland Hills, CA 91364

Ph: (818) 314-9280 Fax: (818) 745-5529
Email: omcr83@hotmail.com

ROMB
STRUCTURAL
ENGINEERING



DRAWN BY: O.M. DATE: 03-22-2021
CHECKED BY: PROJECT: 20 - 078
SHEET NO.

S-1

RAISED FOUNDATION NOTES

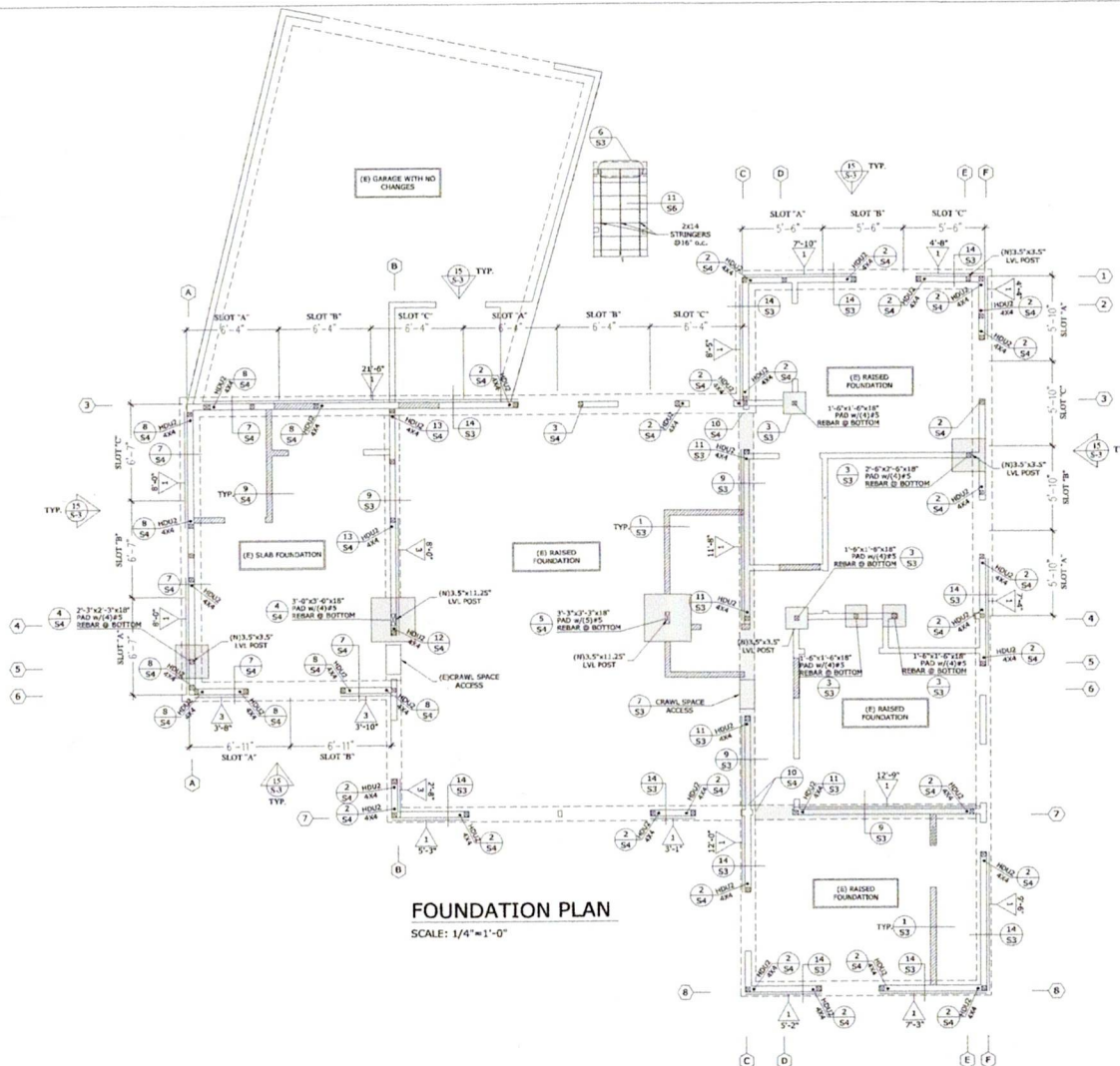
1. ALL HOLD-DOWNS & ANCHOR BOLTS SHALL BE SET IN PLACE BY TEMPLATE PRIOR TO FOUNDATION INSPECTION.
2. ALL POSTS SHALL BE CONNECTED TO SILL PLATE WITH "X3" AT 6A, SIDE TYP. UNLESS HARDWARE IS NOTED ON PLAN.
3. ALL FOOTING SHALL HAVE $P_k = 2500$ PSI UNLESS NOTED OTHERWISE.
4. PLATE WASHERS ARE REQUIRED FOR ALL HOLD-DOWN BRACKETS.
5. ALL BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED. INSPECTOR TO VERIFY.
6. ALL HOLD-DOWN ANCHOR NUTS SHALL BE FINGER TIGHT AND 1/2 WRENCH TURN JUST PRIOR TO CONCRETE POURING.
7. HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS.
8. FOUNDATION SILL SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE FIELD-TREATED PER AWPA M11.
9. CONTRACTOR TO VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL PLANS PRIOR TO STARTING ANY WORK.
10. ALL STUDS OVER 10 FEET TALL AND LESS THAN 15 FEET SHALL BE 2x6 OR 2x4 @ 16" O.C.
11. FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.

SLAB FOUNDATION NOTES

1. CONCRETE SLAB ON GRADE SHALL BE 4" THICK w/ #4 @ 16" O.C. F.W. OVER A 4-INCH THICK BASE OF 1/2 INCH ON LARGER, CLEAN AGGREGATE A 10% VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION.
2. ALL HOLD-DOWNS & ANCHOR BOLTS SHALL BE SET IN PLACE BY TEMPLATE PRIOR TO FOUNDATION INSPECTION.
3. ALL POSTS SHALL BE CONNECTED TO SILL PLATE WITH "X3" AT 6A, SIDE TYP. UNLESS HARDWARE IS NOTED ON PLAN.
4. ALL FOOTING SHALL HAVE $P_k = 2500$ PSI UNLESS NOTED OTHERWISE.
5. PLATE WASHERS ARE REQUIRED FOR ALL HOLD-DOWN BRACKETS.
6. ALL BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED. INSPECTOR TO VERIFY.
7. ALL HOLD-DOWN ANCHOR NUTS SHALL BE FINGER TIGHT AND 1/2 WRENCH TURN JUST PRIOR TO CONCRETE POURING.
8. HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS.
9. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS IN ACCORDANCE WITH: 2015 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (SDPWS-15)
10. FOUNDATION SILL SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE FIELD-TREATED PER AWPA M11.
11. CONTRACTOR TO VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL PLANS PRIOR TO STARTING ANY WORK.
12. ALL STUDS OVER 10 FEET TALL AND LESS THAN 15 FEET SHALL BE 2x6 OR 2x4 @ 16" O.C.
13. FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.

LEGEND	
	INDICATES SHEAR WALL TYPE
	INDICATES GRID LINE
	ALL POSTS ARE 4x4 MINIMUM, UNLESS NOTED OTHERWISE
	INDICATES NEW WALL
	INDICATES EXISTING WALL
	INDICATES NEW FOOTING
	INDICATES EXISTING FOOTING
	NEW FLOOR JOIST (F.J.)
	EXISTING FLOOR JOIST
ABBREVIATIONS	
F.J.	DENOTES FLOOR JOISTS

HOLD-DOWN SCHEDULE				
Type	Hold-down	Hold-down	Hold-down	Hold-down
THREADED ROD	5/8"	5/8"	5/8"	7/8"
SCREWS	6-SDS 1/4"x2 1/2"	10-SDS 1/4"x2 1/2"	14-SDS 1/4"x2 1/2"	20-SDS 1/4"x2 1/2"



ASD - Shear Wall Schedule from Table 4.3A SDPWS-2015 (values divided by 2)

Wall ID	Sheathing Material	Panel Nailing Edges	Field Edges	Sill Plate Fastening Anchor bolts bolt interval = "	Both Edges Distance New Footing	Both Edges Distance Existing Footing	Sill-Plate Nailing at Floors	Double top plate Blocking connection	Sill-Plate blk.	Shear (lb/ft)	Special Inspection
1	15/32" Studs	1d @ 6" o.c. 1 1/2" Min. penetration into framing	1d @ 12" o.c. 1 1/2" Min. penetration into framing	5/8" @ 48" o.c.	1.75"	2"	20d common nail @ 6" o.c.	A35 @ 24" o.c. to Blkg.	1.5"	280	Not Required
2	15/32" Studs	1d @ 6" o.c. 1 1/2" Min. penetration into framing	1d @ 12" o.c. 1 1/2" Min. penetration into framing	5/8" @ 48" o.c.	1.75"	2"	20d common nail @ 6" o.c.	A35 @ 16" o.c. to Blkg.	1.5"	340	Not Required
3	15/32" Studs	1d @ 6" o.c. 1 1/2" Min. penetration into framing	1d @ 12" o.c. 1 1/2" Min. penetration into framing	5/8" @ 32" o.c.	1.75"	2"	3/8" Dia. x 6" long lag @ 8" o.c.	A35 @ 8" o.c. to Blkg.	2.5"	510	Required

- Notes:**
- 1) This nailing schedule is for common nails only and all panel edges fastened to framing.
 - 2) Shear Panels 3 to 8 requires 3x framing members at the bottom sill plate when resting on concrete, and behind vertical or horizontal panel edges. Also minimum 1/2" edge staggered nailing distance at panel ends and edges.
 - 3) Use square plate washers 3" x 1 1/2" x 1/4" dia. for 5/8" diameter bolts.
- * Framing at adjoining panel edges shall be nominal 3" or wider. nails shall be staggered in two lines along panel edges when nail spacing is 2" o.c., or when 10d common nails spaced 3" o.c. penetrate framing more than 1-5/8".

REVISIONS

#	DATE
1	
2	
3	

DESCRIPTION: NEW 2nd FLOOR AND INTERIOR REMODEL

OWNER: 2645 Via Corona, Montebello, CA 90640

ROMB Structural Engineering
21243 Ventura Blvd. Suite 119
Woodland Hills, CA 91364
Ph: (818) 314-9280 Fax: (818) 745-5329
Email: omrc83@hotmail.com

ROMB
STRUCTURAL
ENGINEERING



DRAWN BY: O.J.M. DATE: 03-22-2023
CHECKED BY: PROJECT: 21 - 078
SHEET NO.

S-2.1

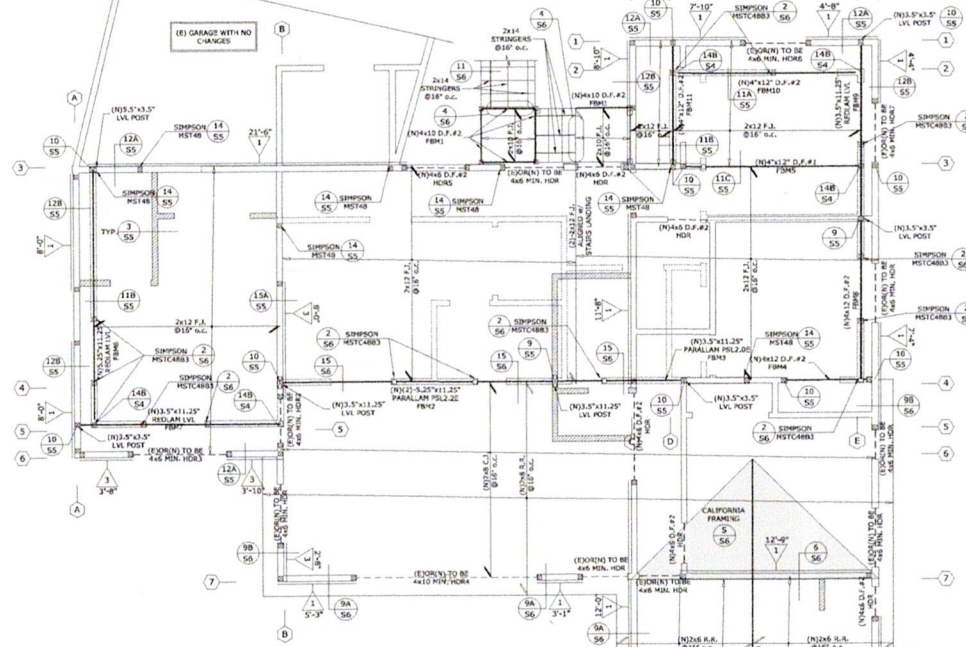
ROOF FRAMING NOTES

- ROOF SHEATHING SHALL BE 1/2" PLYWOOD, CD-X FL1 32/16, w/ 4x8 COMMON NAILS @ 6" O.C. 12" D.C.
- ALL SHEAR WALLS ARE FULL HEIGHT TO THE ROOF AND FLOOR DIAPHRAGM.
- ALL POSTS ARE 4x4 MINIMUM U.L.D.
- ALL POSTS SHALL BE CONNECTED TO SILL PLATE WITH "AS" AT EA. SIDE TYP. UNLESS HARDWARE IS NOTED ON PLAN.
- ALL EXT. WALLS, SHEAR WALLS & BEARING WALLS EXCEEDING 10'-0" AND LESS THAN 15'-0" HEIGHT SHALL BE 2x6 OR 3x4 @ 16" O.C.
- ALL WOOD FRAMING MEMBERS U.A.O. SHALL BE:
2x MEMBER OF #2 OR BETTER
4x MEMBER OF #2 OR BETTER
2x STUDS OF #2 OR BETTER
- ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED NAIL.
- FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.
- ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING FACE GRAIN OF PLYWOOD. SHALL BE PERPENDICULAR TO SUPPORTS. PLYWOOD SPANS SHALL CONFORM TABLE 2304.7
- ALL WOOD BEAM SHALL BE CONNECTED TO POST WITH COLUMN CAP, UNLESS HARDWARE IS NOTED ON PLAN.
- ALL WOOD HEADER SHALL BE CONNECTED TO POST OR 2x4 TRIMMED STUD WITH POST CAP, UNLESS HARDWARE IS NOTED ON PLAN.

LOW ROOF/ FLOOR FRAMING NOTES

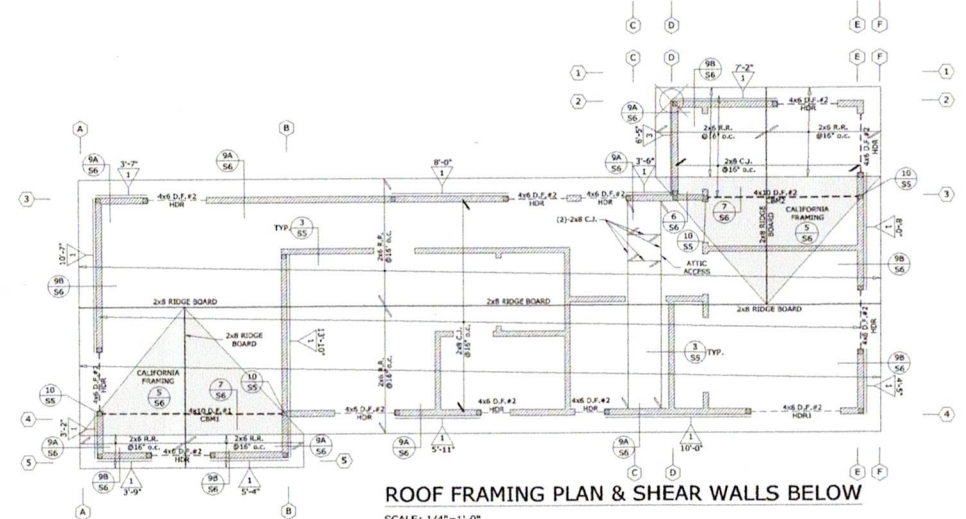
- FLOOR SHALL BE 3/4" PLYWOOD CDX, FL1 32/16 T & G, w/ 100 COMMON NAILS @ 6" 12" D.C. FOR PLYWOOD SHEATHING LAYOUT SEE 1/57.
- ALL SHEAR WALLS ARE FULL HEIGHT TO THE ROOF AND FLOOR DIAPHRAGM.
- ALL POSTS ARE 4x4 MINIMUM U.L.D.
- CITY LICENSED FABRICATOR REQUIRED FOR REOLAN LVL.
- ALL POSTS SHALL BE CONNECTED TO SILL PLATE WITH "AS" AT EA. SIDE TYP. UNLESS HARDWARE IS NOTED ON PLAN.
- ALL EXT. WALLS, SHEAR WALLS & BEARING WALLS EXCEEDING 10'-0" AND LESS THAN 15'-0" HEIGHT SHALL BE 2x6 OR 3x4 @ 16" O.C.
- ALL WOOD FRAMING MEMBERS U.A.O. SHALL BE:
2x MEMBER OF #2 OR BETTER
4x MEMBER OF #2 OR BETTER
2x STUDS OF #2 OR BETTER
- ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED NAIL.
- FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.
- ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING FACE GRAIN OF PLYWOOD. SHALL BE PERPENDICULAR TO SUPPORTS. PLYWOOD SPANS SHALL CONFORM TABLE 2304.7
- ALL WOOD BEAM SHALL BE CONNECTED TO POST WITH COLUMN CAP, UNLESS HARDWARE IS NOTED ON PLAN.
- ALL WOOD HEADER SHALL BE CONNECTED TO POST OR 2x4 TRIMMED STUD WITH POST CAP, UNLESS HARDWARE IS NOTED ON PLAN.

LEGEND	
	INDICATES SHEAR WALL TYPE
	INDICATES GRID LINE
	INDICATES 4x4 POST ABOVE, UNLESS NOTED OTHERWISE
	ALL POSTS ARE 4x4 MINIMUM, UNLESS NOTED OTHERWISE
	INDICATES NEW WALL
	INDICATES EXISTING WALL
	INDICATES NEW WALL ABOVE
	NEW ROOF PATTERS (R.R.)
	NEW FLOOR JOIST (F.J.)
ABBREVIATIONS	
HDR	DENOTES HEADER
FMB	DENOTES FLUSH BEAM
CBM	DENOTES CEILING BEAM
R.R.	DENOTES ROOF RATTER



1st FLOOR FRAMING PLAN & SHEAR WALLS BELOW

SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN & SHEAR WALLS BELOW

SCALE: 1/4"=1'-0"

ASD - Shear Wall Schedule from Table 4.3A SDPWS-2015 (values divided by 2)

Wall ID	Sheathing Material	Panel Nailing		Sill Plate Foundation Anchor Bolt Embedment=7"	Both Edge Distance New Footing	Both Edge Distance Existing Footing	Sill-Plate Nailing at Floors	Double top plate Blocking connection	Sill-Plate thk.	Shear (lb/ft)	Special Inspection
		Edges	Fields								
1	15/32" Shear 1	8d @ 6" o.c. 15" Min. penetration into framing	8d @ 12" o.c. 15" Min. penetration into framing	3/8" Dia. x 48" o.c.	1.75" 2"	2"	20d common nail @ 6" o.c.	A35 @ 24" o.c. to Hdg.	1.5"	280	No Required
2	15/32" Shear 1	10d @ 6" o.c. 15" Min. penetration into framing	10d @ 12" o.c. 15" Min. penetration into framing	3/8" Dia. x 48" o.c.	1.75" 2"	2"	20d common nail @ 6" o.c.	A35 @ 16" o.c. to Hdg.	1.5"	340	No Required
3	15/32" Shear 1	10d @ 6" o.c. 15" Min. penetration into framing	10d @ 12" o.c. 15" Min. penetration into framing	3/8" Dia. x 48" o.c.	1.75" 2"	2"	3/8" Dia. x 6" long lag @ 8" o.c.	A35 @ 8" o.c. to Hdg.	2.5"	510	Required

- Notes:**
- This nailing schedule is for common nails only and all panels edges fastened to framing.
 - Shear Panels 3 to 8 requires 3x framing members at the bottom sill plate when resting on concrete, and behind vertical or horizontal panel edges. Also minimum 1/2" edge staggered nailing distance at panel ends and edges.
 - Use square plate washers 3" x 3" x 1/8" dia. for 5/8" diameter bolts.
 - Framing at adjoining panel edges shall be nominal 3" or wider. nails shall be staggered in two lines along panel edges when nail spacing is 2" o.c. or when 10d common nails spaced 3" o.c. penetrate framing more than 1-5/8".

REVISIONS

#	DATE
1	
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3	

DESCRIPTION: NEW 2nd FLOOR AND INTERIOR REMODEL

OWNER: 2645 Via Corona, Montebello, CA 90640

ROMB Structural Engineering
21243 Ventura Blvd. Suite 119
Woodland Hills, CA 91364

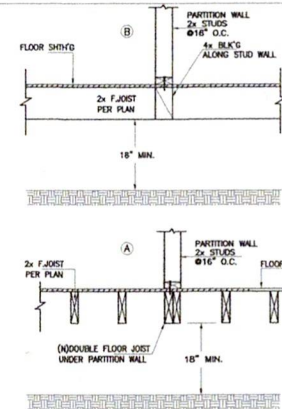
Ph: (818) 314-9260 Fax: (818) 745-5329
Email: omrcr83@hotmail.com

ROMB
STRUCTURAL
ENGINEERING

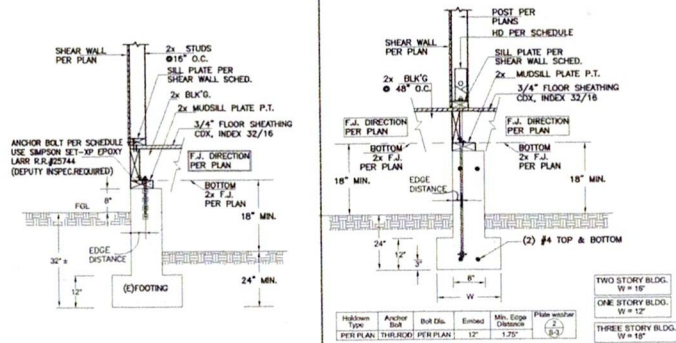


DRAWN BY: G.H. DATE: 02-22-2021
CHECKED BY: PROJECT: 21 - 079
SHEET NO.

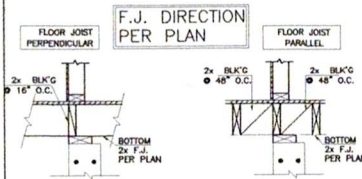
S-2.2



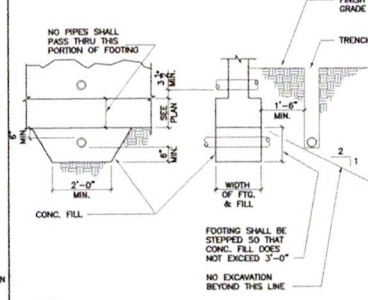
(N) CRAWL SPACE SECTION



020353a



1	PARTITION WALL ON RAISED FOUNDATION N.T.S.
---	---



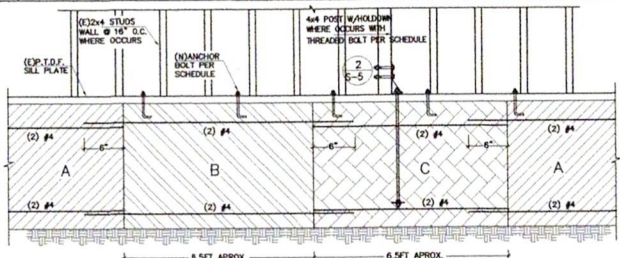
1 PARTITION WALL ON RAISED FOUNDATION
N.T.S.

BOLT DIA.	PLATE WASHER SIZE
5/8"	3" x 3" x 1/4"
3/4"	3" x 3" x 5/16"
7/8"	3" x 3" x 3/8"
1"	3 1/2" x 3 1/2" x 3/8"

NOTES:

1. ALL BOLT-HOLES SHALL BE 1/16" (MAX.) OVER-SIZED AT THE CONNECTION OF HOLD-DOWNS TO POSTS. INSPECTOR TO VERIFY.
2. HOLD-DOWN CONNECTION BOLTS/NUTS SHALL BE TORQUED 1/2 TURN BEYOND FINGER TIGHT OR AS REQUIRED BY MANUFACTURER. INSPECTOR SHALL VERIFY BY RANDOM INSPECTION PRIOR TO COVERING WALLS.

14 ANCHOR BOLT-RAISED FOUNDATION
N.T.S.



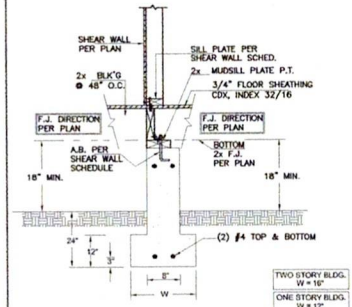
11	HOLDOWN-RAISED FOUNDATION N.T.S.
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SLOT METHOD CONSTRUCTION PROCEDURE

THE FOLLOWING PROCEDURE IS FOR THE CONSTRUCTION OF THE FOUNDATION UTILIZING THE SLOT CUT METHOD

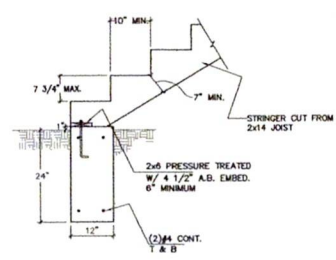
- 1) EXCAVATE FOUNDATION FOR EACH "A" SLOT
- 2) CONSTRUCT THE "A" SECTION OF THE FOUNDATION
- 3) EXCAVATE FOUNDATION FOR EACH "B" SLOT
- 4) CONSTRUCT THE "B" SECTION OF THE FOUNDATION
- 5) EXCAVATE FOUNDATION FOR EACH "C" SLOT
- 6) CONSTRUCT THE "C" SECTION OF THE FOUNDATION

15	STAGES OF CONSTRUCTION FOR NEW UNDERPINNED FOUNDATION N.T.S.
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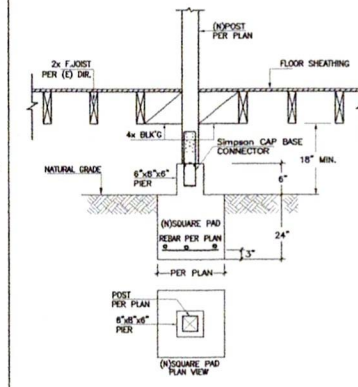
9 ANCHOR BOLT-RAISED FOUNDATION

5 TYP. PIPE & TRENCH LOCATION
N.T.S. 0204S1



6	STAIRS-DETAIL N.T.S.
---	-------------------------

2 PLATE WASHERS FOR SHEAR WALLS
N.T.S.



3	(N)POST-PAD CONNECTION N.T.S.
---	----------------------------------

REVISIONS	
#	DATE
1	
2	
3	

DESCRIPTION:

OWNER: 2645 Via Corona,
Montebello, CA 90640

ROMB Structural Engineering
21243 Ventura Blvd. Suite 119

Woodland Hills, CA 91364

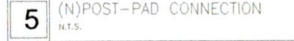
Ph: (818) 314-9280 Fax: (818) 745-5329

ROMB
STRUCTURAL
ENGINEERING



DRAWN BY: O.M.	DATE: 03-22-2021
CHECKED BY:	PROJECT: 20 - 078
	SHEET NO.

S-3



DESCRIPTION: NEW 2nd FLOOR
AND INTERIOR REMODEL

OWNER: 2645 Via Corona,
Montebello, CA 90640

ROMB Structural Engineering
21243 Ventura Blvd. Suite 119
Woodland Hills, CA 91364

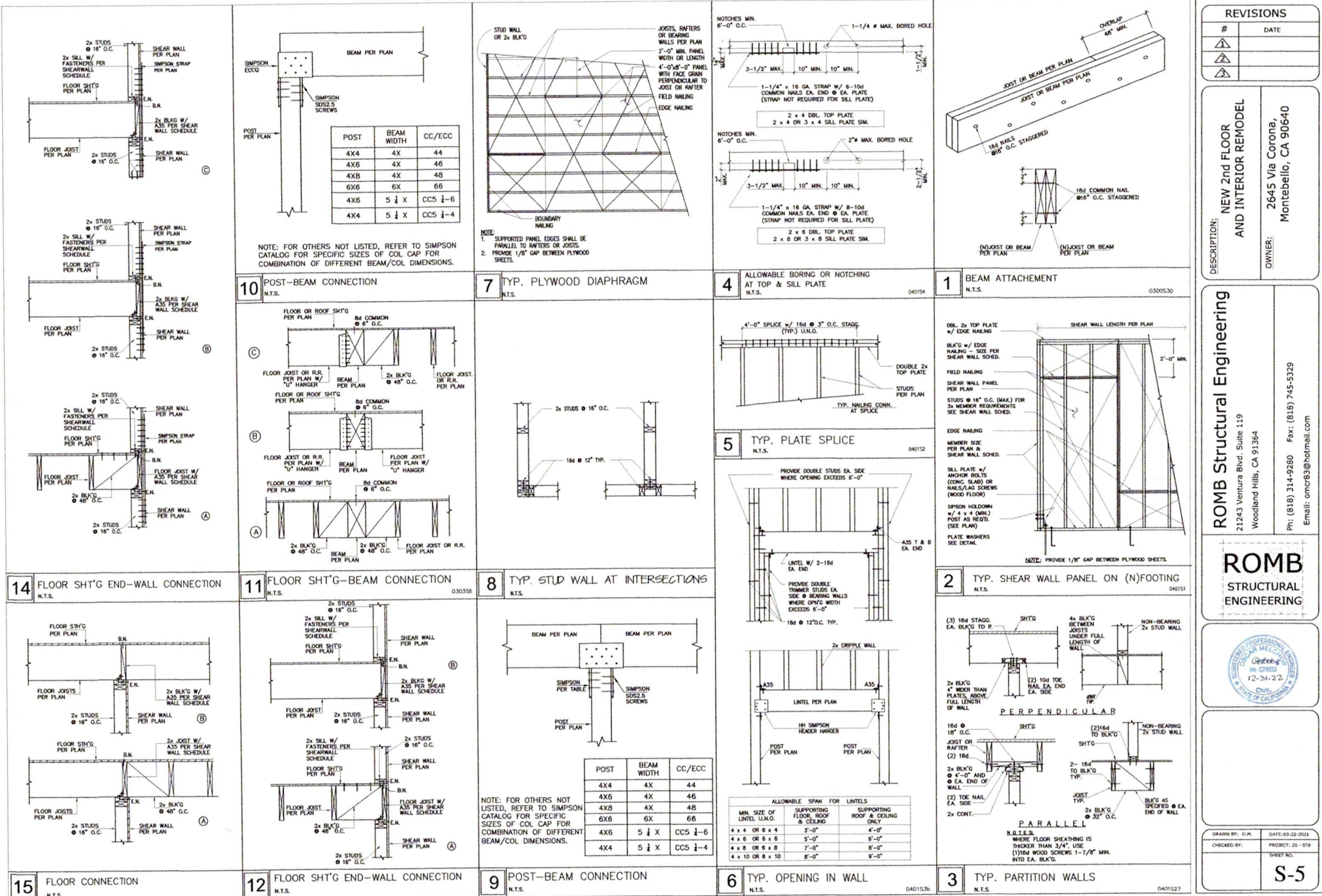
Ph: (818) 314-9280 Fax: (818) 745-5329
Email: omc83@hotmail.com

ROMB
STRUCTURAL
ENGINEERING



DRAWN BY: C.M.	DATE: 03-22-2021
CHECKED BY:	PROJECT: 20 - 078
	SHEET NO.

S-4



REVISIONS

#	DATE

DESCRIPTION:

NEW 2nd FLOOR
AND INTERIOR REMODEL

OWNER:

2645 Via Corona,
Montebello, CA 90640

ROMB Structural Engineering

21243 Ventura Blvd. Suite 119
Woodland Hills, CA 91364

Ph: (818) 314-9280 Fax: (818) 745-5329
Email: omcr63@hotmail.com

ROMB

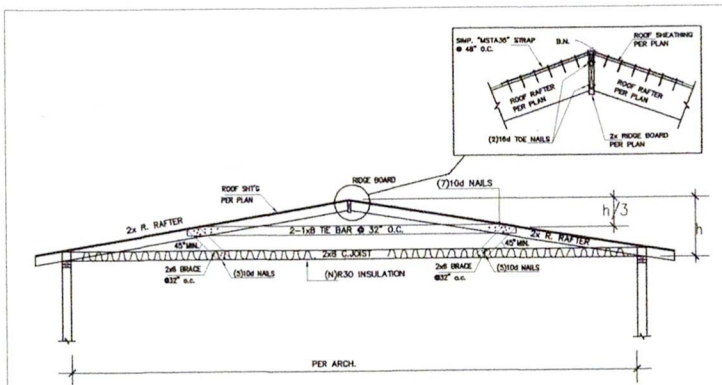
STRUCTURAL
ENGINEERING

DRAWN BY: C.H. DATE: 03-22-2021

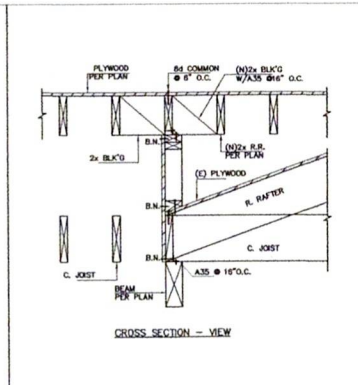
CHECKED BY: PROJECT: 20 - 079

SHEET NO.

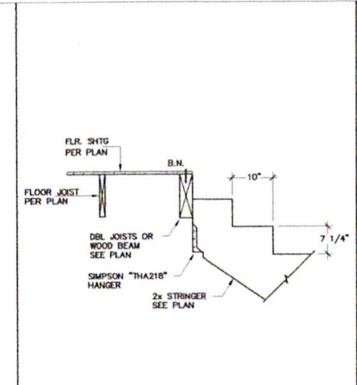
S-5



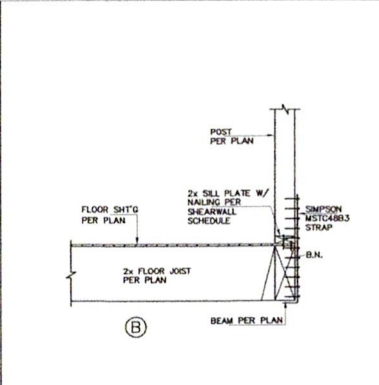
10 RAFTER TIES
N.T.S.



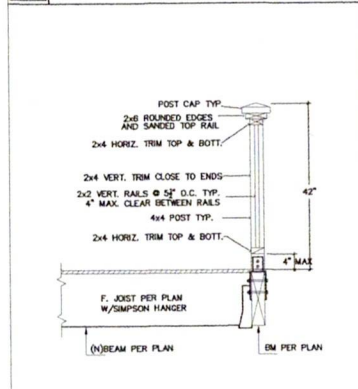
7 DOUBLE PLATE--R. RAFTER CONN.
N.T.S.



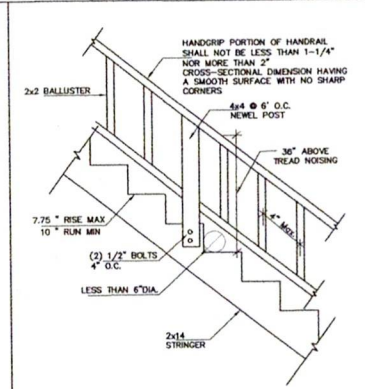
4 CONNECTION AT LANDING
N.T.S.



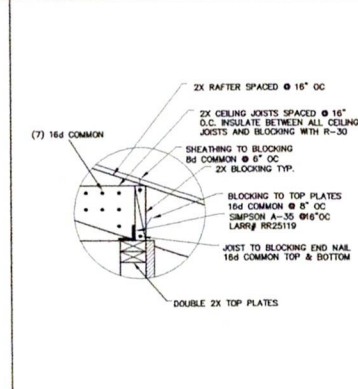
2 POST-BEAM/FLOOR JOIST CONNECTION
N.T.S.



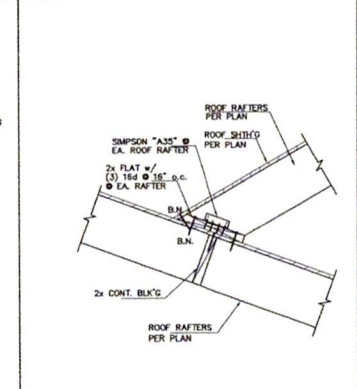
14 HANDRAIL DETAIL
N.T.S.



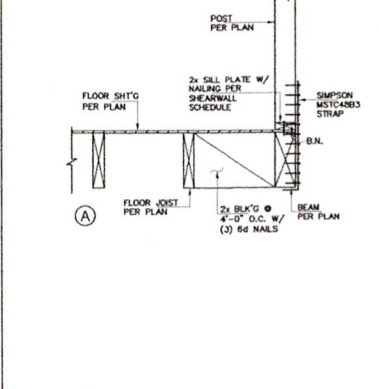
11 RAILING
N.T.S.



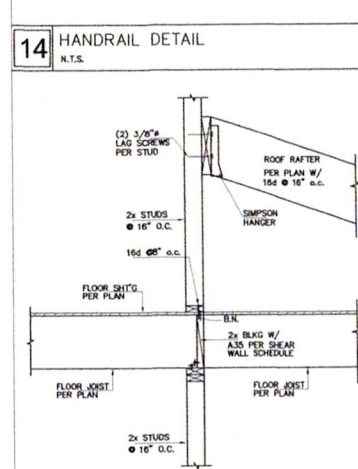
8 ROOF RAFTER & SHEARWALL CONN.
N.T.S.



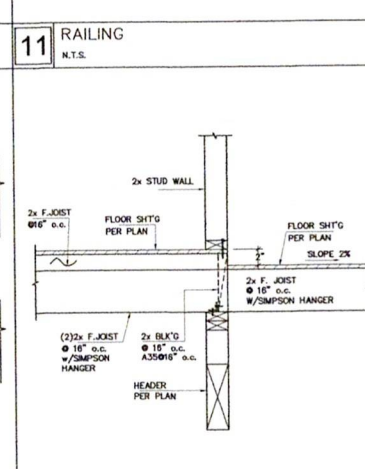
5 CALIFORNIA FRAMING
N.T.S.



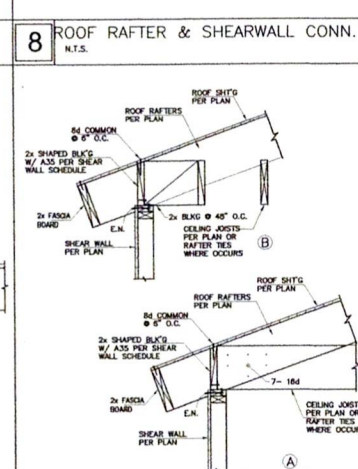
3 POST TO BEAM CONNECTION
N.T.S.



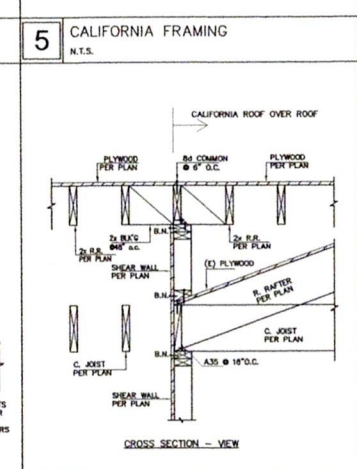
15 FLOOR SHIT'G END-WALL ABOVE CONNECTION
N.T.S.



12 LANDING OVER BEAM
N.T.S.



9 SHEAR WALL--R. RAFTER--CEIL. JOIST
N.T.S.



6 DOUBLE PLATE--R. RAFTER CONN.
N.T.S.

REVISIONS	
#	DATE
1	
2	
3	

DESCRIPTION: NEW 2nd FLOOR AND INTERIOR REMODEL

OWNER: 2645 Via Corona, Montebello, CA 90640

ROMB Structural Engineering

21243 Ventura Blvd. Suite 119
Woodland Hills, CA 91364

Ph: (818) 314-9280 Fax: (818) 745-5329
Email: omrc43@hotmail.com

ROMB

STRUCTURAL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER
No. C1983
12-31-22
CIVIL
STATE OF CALIFORNIA

DRAWN BY: O.H. DATE: 03-22-2021

CHECKED BY: PROJECT: 20 - 078

SHEET NO.

S-6



Cleared Call Search Results

Report Time: 10/16/ **Login ID:** RIVER **Jurisdiction:**
Incident Number: **Call Number:** **Agencies:** Police, Fire, EMS
From Date: 04/16/ **To Date:** 10/16/ **Phone Number:**
Last Name: **First Name:** **Location:** 2645 W VIA CORONA, I
Plate #: **Plate State:** **Include Canceled:** No
Type: **Priority:** **Source:**
Disposition: **Unit:** **Officer:**
Narrative:

Create Date/Time	Call Type	Location	Beat
4/29/2025 15:14	459A	2645 W VIA CORONA, MONTEBELLO	A
5/31/2025 0:39	415SUB	2645 W VIA CORONA, MONTEBELLO	A
6/3/2025 20:48	CITAS	2645 W VIA CORONA, MONTEBELLO	A
6/4/2025 7:49	CITAS	2645 W VIA CORONA, MONTEBELLO	A
6/5/2025 11:40	415SUB	2645 W VIA CORONA, MONTEBELLO	A
6/13/2025 13:42	415SUB	2645 W VIA CORONA, MONTEBELLO	A
6/21/2025 23:21	911CHK	2645 W VIA CORONA, MONTEBELLO	A
7/8/2025 10:54	MFD REQUEST	2645 W VIA CORONA, MONTEBELLO	A
8/1/2025 20:50	MFD REQUEST	2645 W VIA CORONA, MONTEBELLO	A
8/4/2025 23:18	MFD REQUEST	2645 W VIA CORONA, MONTEBELLO	A
8/17/2025 21:58	MFD REQUEST	2645 W VIA CORONA, MONTEBELLO	A



CITY OF MONTEBELLO

Code Enforcement Division
1600 West Beverly Blvd
Montebello, CA 90640
(323) 887- 4778
Arazana@montebelloca.gov

NOTICE OF VIOLATION

06/10/2025

Case #: CE25-1242

MECHILLE JOHNSON
CHANCES 4 CHANGE,
INC.

Location of Request: **2645 W Via Corona , MONTEBELLO, CA 90640-2911**

2645 W Via Corona
Montebello, CA 90640
Mobile: (909) 277-4684

Property ID: 6343-021-002

Dear MECHILLE JOHNSON,

The City of Montebello is dedicated to protect the health, safety, and welfare of our community members by encouraging compliance with the Montebello Municipal Code; to enhance the appearance of neighborhoods and business districts to prevent blight, protect property values, and enhance economic conditions. This notice is to advise you that the property referenced above location was inspected on June 10, 2025 and was found to be in violation of the Montebello Municipal Code (M.M.C.).

Violation(s) of the Montebello Municipal Code include:

Codes	Description	Corrective Action
M.M.C. 17.70	The requirement to obtain a conditional use permit shall include, but not be limited to, private concerns occupying or using city-owned property in any zone, when the occupancy or use would otherwise require a conditional use permit. See Appendix A, Index of Permitted Uses, for specific uses allowed with a conditional use permit.	Please contact the City's Planning Department for a Conditional Use Permit. If a Conditional Use Permit is not obtained the business may be subject to closure. (Contact Planning Dept. (323)887-1478 before the date below to re-asses business license.)
M.M.C. 08.16.010. (B)(1)	Are structurally or otherwise unsafe, either entirely or in part.	Unsafe structures are prohibited. (Tarp on fence needs to be removed because it is a temporary material.)

It is the goal to obtain voluntary compliance and to work with you to accomplish this goal. Cooperation in resolving this matter is appreciated. If these violations are not corrected, you may be subject to administrative fines, criminal charges, or both. If an administrative citation is issued fines may begin to accrue: \$100.00, \$200.00 and \$500.00, respectively, for each day pursuant to Chapter 1.14 of the Montebello Municipal Code. If the violation(s) are found to be corrected, no further action will be taken.

A Code Enforcement Officer will visit your property to ensure the item(s) described above have been corrected. Please be advised a re-inspection fee in the amount of \$92.00 may be applied for non-compliance if corrections are not completed by 7:00 a.m. on **07/03/2025**. Unless indicated on this notice, you are not required to be present during a re-inspection of the property. Should you have any questions please feel free to contact me during normal business hours at (323) 887-1490. Office hours are Monday-Thursday from 7:30 a.m. to 5:30 p.m.

A.R.

Alexys Razana